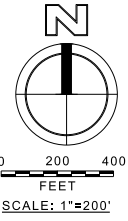


**LAKE REQUIREMENT SITE DATA**

Total Site Area:	8,692,833 s.f. / 199.56 ac.	100%
FPL Tract:	790,614 s.f. / 18.15 ac.	9%
Cocoruar Req.:	199,599 s.f. / 4.55 ac.	2.3%
Lakes:	787,078 s.f. / 17.99 ac.	9.1%
Wetlands @ DWE:	457,380 s.f. / 10.50 ac.	5.3%
Dry Detention Area Provided:	4,421 ac.	2.0%
TOTAL LAKE / DRY DETENTION AREA PROVIDED =	32.31 ac.	16.0%



**DEVELOPMENT PARCELS PARAMETERS**

Block	Site	Building	Pavement	Drainage
BLOCK 1	Site: 6.72 ac.	Building: 2.88 ac.	Pavement: 2.55 ac.	Drainage: 4.87 ac.
	Site: 3.04 ac.	Building: 0.85 ac.	Pavement: 1.01 ac.	Drainage: 1.45 ac.
	Site: 10.15 ac.	Building: 2.54 ac.	Pavement: 2.54 ac.	Drainage: 5.07 ac.
BLOCK 2	Site: 10.72 ac.	Building: 3.15 ac.	Pavement: 2.34 ac.	Drainage: 3.11 ac.
	Site: 6.83 ac.	Building: 1.72 ac.	Pavement: 2.61 ac.	Drainage: 2.35 ac.
	Site: 12.31 ac.	Building: 3.07 ac.	Pavement: 3.07 ac.	Drainage: 6.17 ac.
BLOCK 3	Site: 2.54 ac.	Building: 1.88 ac.	Pavement: 1.88 ac.	Drainage: 3.83 ac.
	Site: 1.81 ac.	Building: 0.45 ac.	Pavement: 0.45 ac.	Drainage: 0.90 ac.
	Site: 2.51 ac.	Building: 1.89 ac.	Pavement: 1.89 ac.	Drainage: 3.98 ac.
BLOCK 4	Site: 10.72 ac.	Building: 3.15 ac.	Pavement: 2.34 ac.	Drainage: 3.11 ac.
	Site: 6.83 ac.	Building: 1.72 ac.	Pavement: 2.61 ac.	Drainage: 2.35 ac.
	Site: 12.31 ac.	Building: 3.07 ac.	Pavement: 3.07 ac.	Drainage: 6.17 ac.
BLOCK 5	Site: 1.40 ac.	Building: 0.70 ac.	Pavement: 0.70 ac.	Drainage: 1.40 ac.
	Site: 6.28 ac.	Building: 0.85 ac.	Pavement: 0.85 ac.	Drainage: 1.70 ac.
	Site: 14.70 ac.	Building: 2.28 ac.	Pavement: 2.28 ac.	Drainage: 4.56 ac.
BLOCK 6	Site: 12.34 ac.	Building: 2.28 ac.	Pavement: 3.52 ac.	Drainage: 4.21 ac.
	Site: 0.60 ac.	Building: 0.00 ac.	Pavement: 0.00 ac.	Drainage: 0.00 ac.
	Site: 4.30 ac.	Building: 0.85 ac.	Pavement: 0.85 ac.	Drainage: 1.70 ac.
BLOCK 7	Site: 17.00 ac.	Building: 5.10 ac.	Pavement: 3.52 ac.	Drainage: 4.21 ac.
	Site: 6.28 ac.	Building: 0.85 ac.	Pavement: 0.85 ac.	Drainage: 1.70 ac.
	Site: 14.70 ac.	Building: 2.28 ac.	Pavement: 2.28 ac.	Drainage: 4.56 ac.
BLOCK 8	Site: 10.72 ac.	Building: 3.15 ac.	Pavement: 2.34 ac.	Drainage: 3.11 ac.
	Site: 6.83 ac.	Building: 1.72 ac.	Pavement: 2.61 ac.	Drainage: 2.35 ac.
	Site: 12.31 ac.	Building: 3.07 ac.	Pavement: 3.07 ac.	Drainage: 6.17 ac.
BLOCK 9	Site: 4.90 ac.	Building: 1.52 ac.	Pavement: 0.50 ac.	Drainage: 1.52 ac.
	Site: 6.28 ac.	Building: 0.85 ac.	Pavement: 0.85 ac.	Drainage: 1.70 ac.
	Site: 5.81 ac.	Building: 0.26 ac.	Pavement: 2.85 ac.	Drainage: 3.40 ac.
BLOCK 10	Site: 8.25 ac.	Building: 0.26 ac.	Pavement: 2.85 ac.	Drainage: 3.40 ac.
	Site: 6.28 ac.	Building: 0.85 ac.	Pavement: 0.85 ac.	Drainage: 1.70 ac.
	Site: 14.70 ac.	Building: 2.28 ac.	Pavement: 2.28 ac.	Drainage: 4.56 ac.
BLOCK 11	Site: 17.00 ac.	Building: 5.10 ac.	Pavement: 3.52 ac.	Drainage: 4.21 ac.
	Site: 6.28 ac.	Building: 0.85 ac.	Pavement: 0.85 ac.	Drainage: 1.70 ac.
	Site: 14.70 ac.	Building: 2.28 ac.	Pavement: 2.28 ac.	Drainage: 4.56 ac.
BLOCK 12	Site: 12.34 ac.	Building: 2.28 ac.	Pavement: 3.52 ac.	Drainage: 4.21 ac.
	Site: 0.60 ac.	Building: 0.00 ac.	Pavement: 0.00 ac.	Drainage: 0.00 ac.
	Site: 4.30 ac.	Building: 0.85 ac.	Pavement: 0.85 ac.	Drainage: 1.70 ac.
BLOCK 13	Site: 10.72 ac.	Building: 3.15 ac.	Pavement: 2.34 ac.	Drainage: 3.11 ac.
	Site: 6.83 ac.	Building: 1.72 ac.	Pavement: 2.61 ac.	Drainage: 2.35 ac.
	Site: 12.31 ac.	Building: 3.07 ac.	Pavement: 3.07 ac.	Drainage: 6.17 ac.
BLOCK 14	Site: 10.72 ac.	Building: 3.15 ac.	Pavement: 2.34 ac.	Drainage: 3.11 ac.
	Site: 6.83 ac.	Building: 1.72 ac.	Pavement: 2.61 ac.	Drainage: 2.35 ac.
	Site: 12.31 ac.	Building: 3.07 ac.	Pavement: 3.07 ac.	Drainage: 6.17 ac.
BLOCK 15	Site: 10.72 ac.	Building: 3.15 ac.	Pavement: 2.34 ac.	Drainage: 3.11 ac.
	Site: 6.83 ac.	Building: 1.72 ac.	Pavement: 2.61 ac.	Drainage: 2.35 ac.
	Site: 12.31 ac.	Building: 3.07 ac.	Pavement: 3.07 ac.	Drainage: 6.17 ac.
BLOCK 16	Site: 10.72 ac.	Building: 3.15 ac.	Pavement: 2.34 ac.	Drainage: 3.11 ac.
	Site: 6.83 ac.	Building: 1.72 ac.	Pavement: 2.61 ac.	Drainage: 2.35 ac.
	Site: 12.31 ac.	Building: 3.07 ac.	Pavement: 3.07 ac.	Drainage: 6.17 ac.



**MAINSTREET AT COCONUT CREEK**  
**MASTER CONCEPTUAL DRAINAGE SYSTEM PLAN**

DATE:	07/21
DESIGNED BY:	JMH
DRAWN BY:	JMH
CHECKED BY:	AG
DATE: 8/18/21	
FLORIDA REGISTRATION NO.:	54615
PROJECT:	1803-32
SHEET:	CD-1

**PMDD BOUNDARY 88 AC.**

**LEGEND**

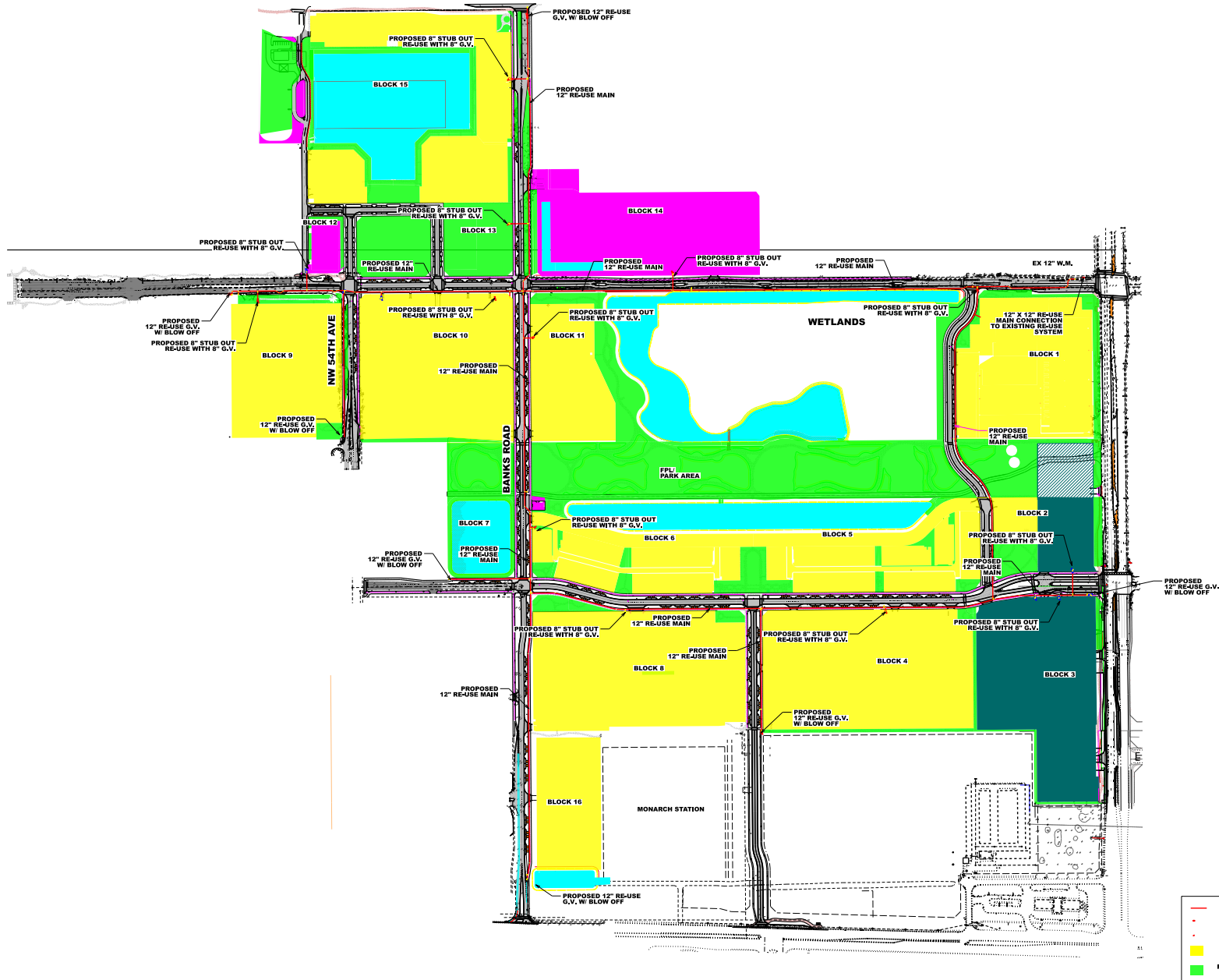
- PROPOSED LAKE
- WETLAND BUFFER
- PROPOSED DRAINAGE PIPE
- PROPOSED DRAINAGE INLET
- LAKE OUTFALL
- PROPOSED FUTURE DEVELOPMENT PODS
- PROPOSED FUTURE CIVIC PODS
- PROPOSED GREEN PARKS AREA

EXHIBIT E

MASTER RE-USE INFRASTRUCTURE EXHIBIT



0 200 400  
FEET  
SCALE: 1"=200'



NO.	DATE	BY	REVISIONS
1	02/23	JAH	REUSE PER PADDED REVISIONS
2	03/23	JAH	REUSE PER PADDED REVISIONS

**HSG**  
**HSQ GROUP, LLC.**  
 Engineers • Planners • Surveyors  
 100 YWAMTO ROAD, SUITE 105  
 BOCA RATON, FLORIDA 33433

**MAINSTREET AT COCONUT CREEK**  
**MASTER CONCEPTUAL**  
**RE-USE SYSTEM PLAN**

DATE:	08/18
DESIGNED BY:	JMH
DRAWN BY:	JMH
CHECKED BY:	AG

DATE:	08/18
BY:	REVISIONS
PROJECT:	1803-32
SHEET:	CW-1

**LEGEND**

- PROPOSED RE-USE MAIN
- GATE VALVE
- BLOW OFF
- PROPOSED FUTURE DEVELOPMENT PODS
- PROPOSED GREEN/PARKS

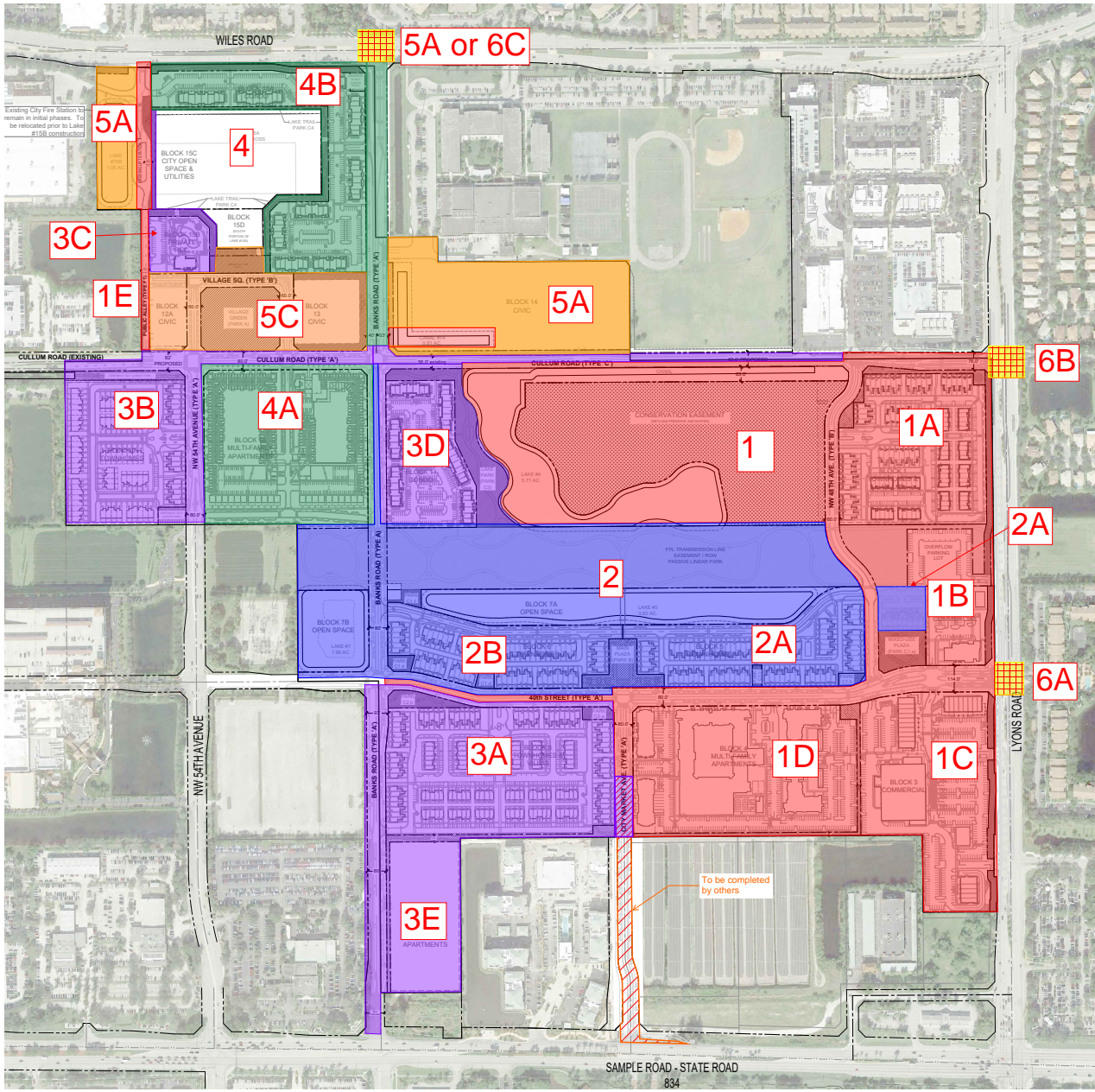
EXHIBIT F

MASTER CONCEPTUAL SUSTAINABILITY PLAN



EXHIBIT G

MASTER CONSTRUCTION PHASING PLAN

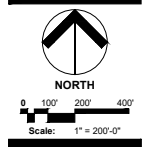


**Urban design studio**  
 Urban Design  
 Land Planning  
 Landscape Architecture  
 610 Clematis Street, Suite CU02  
 West Palm Beach, FL 33401  
 561.366.1100 FAX 561.366.1111  
 www.udsstudio.com  
 #UA0001739

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EXHIBIT PREPARED BY GRS PARTNERS

**MAIN STREET at COCONUT CREEK PMDD**  
**GRS PARTNERS**  
**City of Coconut Creek, Florida**  
**MASTER PHASING PLAN**



Date: July 2021

Project No.: 15-039.002

Designed By: R.S.

Drawn By: R.S.

Checked By:

Revision Dates:	
2021.07.01	PMDD SUBMITTAL #1
2021.07.01	PMDD SUBMITTAL #2
2021.07.13	PMDD SUBMITTAL #3
2021.07.13	PMDD SUBMITTAL #4
2021.07.13	PMDD SUBMITTAL #5
2021.07.13	PMDD SUBMITTAL #6
2021.07.13	PMDD SUBMITTAL #7
2021.07.13	PMDD SUBMITTAL #8
2021.07.13	PMDD SUBMITTAL #9
2021.07.13	PMDD SUBMITTAL #10
2021.07.13	PMDD SUBMITTAL #11
2021.07.13	PMDD SUBMITTAL #12
2021.07.13	PMDD SUBMITTAL #13
2021.07.13	PMDD SUBMITTAL #14
2021.07.13	PMDD SUBMITTAL #15
2021.07.13	PMDD SUBMITTAL #16
2021.07.13	PMDD SUBMITTAL #17
2021.07.13	PMDD SUBMITTAL #18
2021.07.13	PMDD SUBMITTAL #19
2021.07.13	PMDD SUBMITTAL #20
2021.07.13	PMDD SUBMITTAL #21
2021.07.13	PMDD SUBMITTAL #22
2021.07.13	PMDD SUBMITTAL #23
2021.07.13	PMDD SUBMITTAL #24
2021.07.13	PMDD SUBMITTAL #25
2021.07.13	PMDD SUBMITTAL #26
2021.07.13	PMDD SUBMITTAL #27
2021.07.13	PMDD SUBMITTAL #28
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2021.07.13	PMDD SUBMITTAL #34
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2021.07.13	PMDD SUBMITTAL #36
2021.07.13	PMDD SUBMITTAL #37
2021.07.13	PMDD SUBMITTAL #38
2021.07.13	PMDD SUBMITTAL #39
2021.07.13	PMDD SUBMITTAL #40
2021.07.13	PMDD SUBMITTAL #41
2021.07.13	PMDD SUBMITTAL #42
2021.07.13	PMDD SUBMITTAL #43
2021.07.13	PMDD SUBMITTAL #44
2021.07.13	PMDD SUBMITTAL #45
2021.07.13	PMDD SUBMITTAL #46
2021.07.13	PMDD SUBMITTAL #47
2021.07.13	PMDD SUBMITTAL #48
2021.07.13	PMDD SUBMITTAL #49
2021.07.13	PMDD SUBMITTAL #50

**EXHIBIT I**

EXHIBIT H  
LAND SWAP PLAN





**HSQ GROUP, LLC.**  
**Engineers • Planners**  
 1001 Yamato Road, Suite 105  
 Boca Raton, Florida 33431  
 (561) 392-0221 Phone • (561) 392-6458 Fax

December 19, 2025

MainStreet Community Development District  
**Governmental Management Services**  
**5385 N. Nob Hill Rd.**  
**Sunrise, FL 33351**  
**Phone: 954.721.8681**

Re: **MAINSTREET AT COCONUT CREEK COMMUNITY DEVELOPMENT DISTRICT – SUPPLEMENTAL ENGINEER’S REPORT FOR ASSESSMENT AREA ONE (BLOCKS 2, 3 AND 4)**  
 HSQ Project Number: **180332**

Board of Supervisors:

**Intent:**

The intent of this engineer’s report is to:

1. Inform ownership of the infrastructure status financed by the MainStreet Community Development District (“CDD”).
2. This report is a supplement to the original engineer’s report dated September 5, 2025.
3. Summarize the current permitting and approvals for construction.
4. Describe the project maintenance obligations.
5. Describe the interaction with adjacent properties.
6. Provide a general cost estimate of future improvements for Blocks 2,3 and 4 obligations.
7. Provide maintenance guidance after construction is completed.

**Overview:**

GSR RE Partners, LLC (Developer) is the owner of the +/- 200 acre parcel generally located on the west side of Lyons Road between Wiles Road and West Sample Road (“Johns Parcel”) in the City of Coconut Creek (“City”), and the +/-6.9 acre parcel platted as the Lyons Commons Plat (“Ester/Rocatica”) in the City of Coconut Creek. The Johns Parcel and Ester/Rocatica are collectively referred to herein as the “Property” and are further identified by the folio numbers listed below:

4842 1801 0160	4842 1801 0240	4842 1801 0310	4842 1801 0360
4842 1801 0480	4842 1801 0250	4842 1801 0320	4842 1801 0370
4842 1801 0210	4842 1801 0260	4842 1801 0330	4842 1801 0390
4842 1801 0220	4842 1801 0270	4842 1801 0340	4842 1801 0170
4842 1801 0230	4842 1801 0280	4842 1801 0350	4842 1825 0010

See attached legal description of the Property to include Blocks 2, 3 and 4 surveys as **Exhibit A**.

The Property has a future land use designation of Regional Activity Center (“RAC”) and is currently zoned PMDD, Planned MainStreet Development District. Petitioner is proposing to develop the Property with a mixed-use project that includes a variety of residential dwellings, commercial uses and open space (“Development”).

The City approved a DRI Amendment and PMDD Rezoning Application in order to allow for the Development Project. The PMDD Rezoning application proposes the following development program (subject to change in the future):

540 Villas and Townhomes with a maximum of 2-stories;  
880 Multifamily Units with a maximum of 5-stories;  
875 Multifamily Units with a maximum of 8-stories;  
105,000 square feet of Commercial Use;  
15,000 square feet of private recreation; and  
City Civic space.

On April 10, 2025 the CDD was established by Ordinance No. 2025-008 by the City Commission of the City of Coconut Creek.

The Developer and City agreed to a land swap in the northwest corner of the CDD boundary. This allows the Developer to construct Block 15A along Wiles Road and provided more land for the Village Green and Lake Side Park to be owned and maintained by the City. See attached land swap Exhibit H.

### **Infrastructure Ownership:**

1. Roadways included within the CDD are Cullum Road, NW 40<sup>th</sup> Street, NW 48<sup>th</sup> Avenue, Banks Road, City Market Avenue, NW 54<sup>th</sup> Avenue and NW 54<sup>th</sup> Terrace. These roadways are dedicated to the City of Coconut Creek either by plat or previously owned Right-of-Way. The roadways will be maintained by the CDD.
2. Public parks and recreational areas will be owned and maintained by the CDD. The public lands owned by the City will be improved by the CDD, but maintained by the City.
3. Offsite roadways, consisting of Wiles Road, Sample Road, Lyons Road and State Road 7 are not included within the CDD boundaries and are owned and operated by other governmental agencies.
4. Internal parcel open space areas (does not include privately held lots) will be owned and maintained by the CDD.
5. Master water main infrastructure will be constructed by the CDD and will be dedicated to the City as described in [Exhibit B](#).
6. Master Sanitary Sewer infrastructure will be constructed by the CDD and dedicated to the City utilities as described in [Exhibit C](#).
7. Master stormwater and drainage infrastructure will be constructed, owned and maintained by the CDD. See [Exhibit D](#).
8. Master re-use infrastructure will be constructed by the CDD and dedicated to the City as described in [Exhibit E](#). The re-use is for irrigation purposes for the entire CDD.
9. The Development is designed with sustainable design features meeting the City's green ordinance. See attached Master conceptual sustainability plan [Exhibit F](#) for more details. The sustainable design features shall be maintained by the CDD.
10. The Village Green and Lakeside park will be constructed by the CDD but owned and maintained by the City.

### **Cocomar Drainage District requirements:**

The overall site is in the Cocomar Drainage District, which requires 15% lake/water surface area. This is obtained by a combination of existing canal, proposed lakes and wetland areas below the water table elevation. The drainage system will be owned and maintained by the CDD with flowage rights to the adjacent property owners allowing their stormwater to flow through the Development to the North via the School canal. See attached [Exhibit D](#) for lake and infrastructure locations. The surface water management permit for the master drainage system requires five-year renewal through Broward County ("County"). This consists of inspections and maintenance/repairs required to maintain the system consistent with the permit requirements and original plan approvals. The lakes, drainage inlets, pipes and dry detention areas must remain operational and avoid modifications without a permit. This is confirmed through the 5-year renewal inspection

period. The individual parcels have their own surface water permit which will also require a 5-year renewal of the permit.

### **Water Distribution, Sanitary Sewer and Re-Use Irrigation:**

The Water Distribution, Sanitary Sewer and Re-use Irrigation will be constructed by the CDD and conveyed to the City to own and maintain. A master lift station serving the majority of the CDD boundary is proposed. Blocks 1 and 9 are not included in the new lift station service area and connect to existing sewer mains adjacent to the Property. The internal utility system was not constructed at the time of this report. After the systems have been installed and conveyed to the City. The City will be responsible for the maintenance.

### **Landscape Improvements:**

The MainStreet PMDD requires a perimeter buffer along Wiles Road and Lyons Road for a 28' wide landscape buffer. This buffer consists of a wide sidewalk colored to the MainStreet salmon red color scheme and landscaping per the approved parks site plan. The CDD will install, own and maintain the landscape buffer improvements.

### **Wetlands:**

The CDD will enhance the existing wetlands as part of the Project. The 5-year maintenance of the wetlands is required per environmental permit. The CDD will maintain the wetlands in accordance with the permit requirements until and unless the County accepts such maintenance obligation. The County owns the existing wetlands and if the County decides to construct any improvements, such as a boardwalk through the wetlands and/or install an irrigation pump, this shall be at the expense of the County and maintained by the County.

### **Parks, Recreation and Amenities**

The Parks owned by the CDD located in the common areas are to be constructed and maintained by the CDD. Internal parks to the individual blocks are not included in the CDD construction and maintenance obligations. Amenities as noted on the sustainability plan within the CDD parks to include park amenities such as benches, trash receptacles, solar lighting, solar benches, landscaping, walkways, etc. are to be constructed and maintained by the CDD. The Village Green, Blocks 12, 13 and 14 shall be improved by the CDD, but will be owned and maintained by the City.

### **Adjacent properties:**

The adjacent properties connect to the CDD as follows:

1. Casino property – has existing drainage connections to Banks Road and to the existing lake in the FPL easement. These need to be maintained and connected to the newly constructed drainage system. Flowage rights to the Casino allow for their stormwater to flow north to the school canal.
2. Monarch Station – the existing lake has a future outfall through Block 8. Block 8 drainage system allows for flow north to the School canal. The re-use main is stubbed-out to the south end of the CDD boundary on City Market Avenue.
3. Vacant parcel East of City Market Avenue (Marbella) – A proposed drainage outfall on City Market Avenue is proposed for their outfall north. A water main and re-use main is extended to the CDD boundary for connection to the CDD drainage system.
4. City parcel located on the northeast side of Cullum Road and Banks Road connects to the drainage system on City property. The sanitary sewer and water main extension to City property is constructed as part of the Cullum roadway improvements.
5. The Home Depot property located west of Block 15A has a drainage outfall into the existing lake. Home Depot also owns 2.99 acres of the lake, which is not part of the CDD maintenance responsibility. The lake flows through Block 15A to the School canal. Block 15A, NW 54<sup>th</sup> Terrace

and the Home Depot site share an ingress/ egress to Wiles Road at the northwest corner of the CDD boundary.

6. Cocomar Drainage District manages the overall drainage system and requires flowage rights east-west along Cullum Road between State Road 7 and Lyons Road, and requires flowage rights north-south between Sample Road and Wiles Road. The proposed design meets the intent of the Cocomar Drainage District.

#### **Permitting status:**

The following permits are either obtained or in process and reasonably expected to be obtained in due course, as follows:

1. Master SFWMD/ BCEPD drainage permit – obtained
2. Master PMDD approval – obtained
3. Master parks site plan – approved
4. Master roadway site plan – approved.
5. NW 48<sup>th</sup> Avenue construction plan review – pending City approval
6. NW 40<sup>th</sup> Street construction plan review – pending City approval
7. NW 54<sup>th</sup> Avenue construction plan review – pending City approval
8. Cullum Road construction plan review – pending City approval
9. Banks Road construction plan review – pending City approval.
10. Lyons road improvements plan review – pending County approval.
11. Master lift station plan review – approved and obtained
12. NPDES permit – approved and obtained.
13. Dewatering permit – approved and obtained.

#### **Assessment area one boundaries:**

Block 2 is the track of land generally located North of the proposed NW 40<sup>th</sup> Street roadway, adjacent to the west side of Lyons Road, and South of Block 1. Part of the Block 2 area is within the FPL easement. See attached survey on location.

Block 3 is the track of land generally located South of the Proposed NW 40<sup>th</sup> street roadway, adjacent to the West side of Lyons Road and North of the South property line of the Mainstreet PMDD development. See attached survey on location.

Block 4 is the track of land generally located on the South side of NW 40<sup>th</sup> Street roadway, East of the proposed City Market Avenue, West of Block 3 and the South property line is the South limits of the Mainstreet PMDD development. See attached survey on location.

## **PMDD master plan obligations by block:**

Each block has required off-site improvements associated with it that are required to be constructed prior to the first Certificate of occupancy for that block. This was outlined in the PMDD documents allowing the developer and City to agree on the sequence of construction and obligations for each Block prior to certification. The obligations for Blocks 2,3 and 4 are as follows:

- **Block 2 (Commercial on Lyons Road)** – The following infrastructure must be completed prior to Certificate of Occupancy for Block 2:
  - Water lines under 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue and under NW 48<sup>th</sup> Avenue between 40<sup>th</sup> Street and Cullum Road shall be constructed and certified for operation.
  - Gravity sewer under 40<sup>th</sup> Street between NW 48<sup>th</sup> Avenue and Lyons Road shall be constructed and certified for operation. Gravity sewer system connection to proposed lift station.
  - Master Lift Station in Block 6 shall be constructed and certified for operation. Force main to State Road 7 completed.
  - Conduit for fiber optic cabling or other smart technology allowing for smart home and community features shall be installed under 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue and under NW 48<sup>th</sup> Avenue between 40<sup>th</sup> Street and Cullum Road.
  - Water Re-Use lines under 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue, and under NW 48<sup>th</sup> Street between 40<sup>th</sup> Street and Cullum Road shall be constructed and certified for operation.
  - Drainage – Lake 4, associated lake banks, littoral plantings, and Block 14 Canal Connection shall be constructed. The drainage system for 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue, and for NW 48<sup>th</sup> Avenue from the North Boundary of the FPL Easement to 40<sup>th</sup> Street shall be constructed.
  - Roads – 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue, and NW 48<sup>th</sup> Avenue between 40<sup>th</sup> Street and North Boundary of the FPL Easement must be completed to the 1<sup>st</sup> lift of asphalt.
  - Connection to Sewer System on 40<sup>th</sup> Street
  - Connection to Master Drainage System
  - Internal Water Main System and Connection to Master Water Main System
  - Irrigation System for Block 2 with Connection to Re-Use System
  - Right Turn Lane on Lyons Road into FPL Easement Overflow Parking
  - Right turn lane on Lyons at 40<sup>th</sup> Street.
  - Greenway Buffer on Lyons Road between Cullum Road and 40<sup>th</sup> Street
  - Streetscape on 40<sup>th</sup> Street along South Side of Block 2 and on NW 48<sup>th</sup> Avenue between North Boundary of FPL Easement and 40<sup>th</sup> Street
  - Park C1.a
  - Greenway with related landscaping and amenities throughout the FPL Easement Area between NW 48<sup>th</sup> Avenue and Lyons Road
  - FPL Easement Area shall be cleared and graded as needed for greenway installation.
  
- **Block 3 (Commercial on Lyons Road)** – The following infrastructure must be completed prior to Certificate of Occupancy for Block 3:
  - Water lines under 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue shall be constructed and certified for operation.
  - Gravity sewer under 40<sup>th</sup> Street between NW 48<sup>th</sup> Avenue and Lyons Road, and under NW 48<sup>th</sup> Avenue between 40<sup>th</sup> Street. Gravity sewer system connection to proposed lift station.
  - Master Lift Station in Block 6 shall be constructed and certified for operation. Force main to State Road 7 completed.
  - Conduit for fiber optic cabling or other smart technology allowing smart home and community features shall be installed under 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue.

- Water Re-Use lines under 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue and under NW 48<sup>th</sup> Street between 40<sup>th</sup> Street and Cullum Road shall be constructed and certified for operation.
  - Drainage – Lake 4, associated lake banks, littoral plantings, and Block 14 Canal Connection shall be constructed. The drainage system for 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue, and for NW 48<sup>th</sup> Avenue from the North Boundary of the FPL Easement to 40<sup>th</sup> Street shall be constructed.
  - Roads – 40<sup>th</sup> Street between Lyons Road and NW 48<sup>th</sup> Avenue must be completed to the 1<sup>st</sup> lift of asphalt.
  - Connection to Sewer System on 40<sup>th</sup> Street
  - Connection to Master Drainage System
  - Internal Water Main System and Loop to Water Main Stub Out at Self Storage Parcel
  - Irrigation System for Block 3 with Connection to Re-Use System
  - Access Driveways to Lyons Road
  - Greenway Buffer along West Side of Block 3
  - Greenway Buffer on Lyons Road adjacent to Block 3 from South Property Boundary to 40<sup>th</sup> Street
  - Streetscape on 40<sup>th</sup> Street adjacent to North Side of Block 3
- **Block 4 (Multifamily Apartments on 40<sup>th</sup> Street)** – The following infrastructure must be completed prior to Certificate of Occupancy for Block 4:
- Water lines under 40<sup>th</sup> Street between Lyons Road and City Market Avenue, and under City Market Avenue from 40<sup>th</sup> Street to South Property Boundary shall be constructed and certified for operation or under 40<sup>th</sup> Street from City Market Avenue to Banks Road.
  - Gravity sewer under 40<sup>th</sup> Street between Lyons Road and City Market Avenue. Gravity sewer system connection to proposed lift station.
  - Master Lift Station in Block 6 shall be constructed and certified for operation. Force main to State Road 7 completed.
  - Conduit for fiber optic cabling or other smart technology allowing for smart home and community features shall be installed under 40<sup>th</sup> Street between Lyons Road and City Market Avenue.
  - Water Re-Use lines under 40<sup>th</sup> Street between Lyons Road and City Market Avenue and under NW 48<sup>th</sup> Street between 40<sup>th</sup> Street and Cullum Road shall be constructed and certified for operation.
  - Drainage – Lake 4, associated lake banks, littoral plantings, and Block 14 Canal Connection shall be constructed. The drainage system for 40<sup>th</sup> Street between Lyons Road and City Market Avenue, and for NW 48<sup>th</sup> Avenue from the North Boundary of the FPL Easement to 40<sup>th</sup> Street shall be constructed.
  - Roads – 40<sup>th</sup> Street between Lyons Road and City Market Avenue, and City Market Avenue from 40<sup>th</sup> Street to project entry must be completed to the 1<sup>st</sup> lift of asphalt.
  - Connection to Sewer System on 40<sup>th</sup> Street
  - Connection to Master Drainage System
  - Internal Water Main System and Loop to Water Main
  - Irrigation System for Block 4 with Connection to Re-Use System
  - Greenway Buffer along South Side of Block 4
  - Streetscape on 40<sup>th</sup> adjacent to North Side of Block 4
  - Streetscape on City Market Avenue between 40<sup>th</sup> Street and project entry

**Project cost estimates for Assessment area one (Blocks 2, 3 & 4):**

The following costs are anticipated for each CDD improvement pro-rata share for Blocks 2, 3 and 4 are as follows:

<b>Project</b>	<b>Phase one</b>	<b>Over all Estimated Cost</b>
Master lift station	\$938,666	\$2,346,667
Lyons Road improvements	\$513,577	\$1,283,944
Lyons Road and NW 40 <sup>th</sup> Street traffic signal	\$240,000	\$600,000
City Market Avenue	\$403,196	\$1,007,992
NW 48 <sup>th</sup> Avenue	\$842,957	\$2,107,394
NW 40 <sup>th</sup> Street	\$2,255,450	\$5,638,626
Greenway linear park improvements	\$485,756	\$1,214,390
Overall CDD site earthwork	\$3,370,355	\$4,400,000
Amenities	\$632,622	\$3,350,000
Stormwater Drainage system	\$2,216,731	\$15,499,835
Open Space and landscaping	\$4,070,570	\$11,500,509
Street lighting – 128 lights	\$460,800	\$1,152,000
Wetland creation and planting	\$727,482	\$1,818,705
10% contingency costs	\$1,696,961	\$8,400,016
<b>Total</b>	<b>18,855,123</b>	<b>\$60,320,078</b>

Construction phasing will generally be done per the phasing Exhibit G. All of these improvements will be constructed and/or acquired by the CDD. The improvements within public Right-of-Way will be conveyed to the appropriate government agency.

**Maintenance obligations:**

The CDD will be required to maintain the landscaping, pathways, drainage systems, lakes and lighting .The following are the anticipated yearly costs for maintenance:

Electricity/ lighting	\$95,000
Landscape maintenance	\$557,200
Lake and littoral maintenance	\$65,000
Fountain Maintenance	\$6,500
Surface water Maintenance	\$25,000*
Wetlands Maintenance	\$5,000

\*The surface water management system requires a 5-year permit renewal. Clean catch basins, pipes, lake banks and littoral shelves at \$25,000 a year or \$125,000 every five years cost.


Assessment area one (Blocks 2,3 and 4) will be required to contribute to the ongoing maintenance obligations per their pro rata share. The assessment area one improvements listed above are required to be constructed for Blocks 2, 3 and 4 to operate properly by providing the necessary roadway access, potable water system, sanitary sewer system, pedestrian connectivity and other resources that result in a direct special benefit to assessment area one (Blocks 2, 3 and 4) residents and landowners.

This report is prepared to the best of our knowledge based upon the information provided by the CDD including documentation and information prepared by HSQ Group preparing the civil and planning plans and permitting. As of the date of this report, the site construction has not commenced, and the construction costs

are subject to change due to many factors. It is our opinion that the proposed improvements constituting the CDD improvements for Assessment Area One (Blocks 2, 3 and 4) and their estimated costs are fair and reasonable, and the landowners and residents living within Assessment Area One of the district will receive a direct and special benefit equal to or greater than the cost of such improvements and the general public and the other lands within the District will also receive incidental benefits. We believe the improvements can be permitted, constructed and installed at the costs described in this report.

Please do not hesitate to contact our office if you have any questions or require additional information.

Sincerely,  
**HSQ GROUP, LLC**

A handwritten signature in black ink that reads "Jay Huebner". The signature is written in a cursive, flowing style.

Jay Huebner, P.E.  
Florida Registration Number 54615

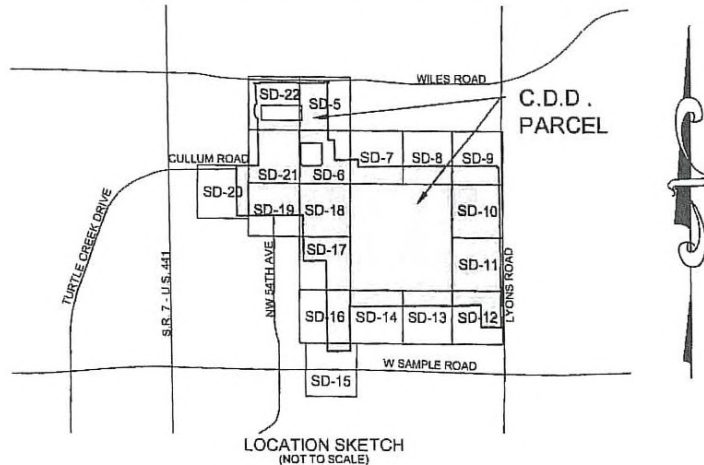
EXHIBIT A  
LEGAL DESCRIPTION OF CDD BOUNDARY

FOR: GSR RE PARTNERS, LLC

## LEGAL DESCRIPTION OF CDD LAND CONVEYANCE PARCEL

### ABBREVIATION LEGEND

B.C.R.	BROWARD COUNTY RECORDS
☒	CENTERLINE
EX.	EXTENSION
INSTR.	OFFICIAL INSTRUMENT
LB	LICENSED BUSINESS
P.B.C.R.	PALM BEACH COUNTY RECORDS
P.B.	PLATBOOK
PG.	PAGE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
PRM	PERMANENT REFERENCE MONUMENT
R/W	RIGHT-OF-WAY
O.R.B.	OFFICIAL RECORDS BOOK
R	RADIUS
Δ	CENTRAL ANGLE
L	ARC LENGTH



### NOTES:

THE BEARINGS SHOWN HEREON ARE RELATIVE TO GRID NORTH, STATE PLANE COORDINATES, FLORIDA EAST ZONE, NAD83 WITH 1990 ADJUSTMENT AND BASED ON A LINE BETWEEN THE FOUND MONUMENTATION AT THE SOUTH QUARTER (S 1/4) CORNER AND THE SOUTHEAST CORNER OF SECTION 18, TOWNSHIP 48 SOUTH, RANGE 42 EAST WHICH BEARS SOUTH 88°28'34" EAST.

THIS SKETCH AND DESCRIPTION CONSISTS OF 22 SHEETS - SD-1 THROUGH SD-22 - AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO ALL THE OTHERS.

THIS SKETCH AND DESCRIPTION OR COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OR A UNIQUE ELECTRONIC SIGNATURE OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER UNDER CHAPTER RULES 5J-17.061 & 5J-17.062 FLORIDA ADMINISTRATIVE CODE.

### CERTIFICATE:

WE HEREBY CERTIFY THAT THIS SKETCH AND DESCRIPTION AND OTHER PERTINENT DATA SHOWN HEREON, OF THE ABOVE DESCRIBED PROPERTY, CONFORMS TO THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AS ADOPTED BY DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES, AND THAT THIS SURVEY PRODUCT IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF.

CRAVEN THOMPSON & ASSOCIATES, INC.  
LICENSED BUSINESS NUMBER #271

RICHARD CRAWFORD, PSM - FOR THE FIRM  
PROFESSIONAL SURVEYOR AND MAPPER NO 5371  
STATE OF FLORIDA

\\CTAFILE02\SURVEY\_PROJECTS\PROJECTS\2008\08-0049-005-01 MAIN STREET AT COCONUT CREEK\DRAWINGS\SKETCH\_AND\_DESC\CDD BNDY BASE\_TO

THIS IS NOT A SKETCH OF SURVEY, but only a graphic depiction of the description shown hereon. There has been no field work, viewing of the subject property, or monuments set in connection with the preparation of the information shown hereon.

The undersigned and CRAVEN-THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, rights-of-way, set back lines, reservations, agreements and other similar matters, and further, this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and confirmed by others through appropriate title verification. Lands shown hereon were not abstracted for right-of-way and/or easements of record.

UPDATES and/or REVISIONS	DATE	BY	CK'D

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JOB NO.: 08-0049-005	SHEET 1 of 22 SHEETS
DRAWN BY: JDP	F.B. N/A PG. N/A
CHECKED BY:	DATED: 02/10/2025

**LEGAL DESCRIPTION:  
CDD LAND CONVEYANCE PARCEL**

**LEGAL DESCRIPTION: CDD BOUNDARY**

A PARCEL OF LAND BEING TRACTS 24, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 48, 49, 50, 51, 52, 53, 54, 55, 57, 58, 59, 60, AND 73, BLOCK 89, THE PALM BEACH FARMS CO. PLAT NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 45-54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LANDS NOW LYING IN SECTION 18, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BEING AND SITUATE IN BROWARD COUNTY, FLORIDA; TOGETHER WITH ALL OF PARCEL "A", LYONS COMMONS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 181, PAGES 183-184, TOGETHER WITH PARCELS A AND "B", AND A PORTION OF WILES ROAD AND BANKS ROAD RIGHT-OF-WAYS, R. M. GREEN CORPORATION PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 164, PAGE 19, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND A PORTION OF WILES ROAD, CULLUM ROAD, BANKS ROAD AND N.W. 40TH STREET RIGHT-OF-WAYS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID R.M. GREEN CORPORATION PLAT;  
THENCE NORTH 89°37'35" EAST ALONG THE EASTERN PROLONGATION OF THE NORTH LINE OF SAID R.M. GREEN CORPORATION PLAT, A DISTANCE OF 15.00 FEET TO POINT OF BEGINNING #1;

THENCE CONTINUE NORTH 89°37'35" EAST ALONG SAID EASTERN PROLONGATION, A DISTANCE OF 83.02 FEET TO THE NORTHWEST CORNER OF PARCEL B, HIGH SCHOOL "GGG" SITE NO. 354.1 PLAT ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 170, PAGE 99 OF THE PUBLIC RECORDS OF BROWARD COUNTY;

THENCE SOUTH 44°36'15" WEST ALONG THE EAST RIGHT-OF-WAY LINE FOR BANKS ROAD AND THE WEST LINE OF SAID PARCEL B, A DISTANCE OF 42.44 FEET;

THENCE SOUTH 00°25'05" EAST ALONG SAID EAST RIGHT-OF-WAY LINE AND WEST PARCEL LINE, A DISTANCE OF 824.16 FEET;

THENCE NORTH 89°34'55" EAST, A DISTANCE OF 100.07 FEET;

THENCE SOUTH 00°25'05" EAST, A DISTANCE OF 296.33 FEET;

THENCE NORTH 89°37'35" EAST, A DISTANCE OF 350.06 FEET;

THENCE SOUTH 00°22'25" EAST, A DISTANCE OF 103.58 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE FOR CULLUM ROAD AND ON THE SOUTH LINE OF SAID PARCEL B;

THENCE NORTH 89°37'35" EAST ALONG SAID RIGHT-OF-WAY LINE AND SOUTH LINE OF SAID PARCEL B, ALSO BEING THE SOUTH LINE OF PARCEL "A" OF GREEN FARMS REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 173, PAGE 116 OF THE PUBLIC RECORDS OF BROWARD COUNTY, A DISTANCE OF 2101.44 FEET;

THENCE SOUTH 00°22'25" EAST, A DISTANCE OF 26.00 FEET;

THENCE NORTH 89°37'35" EAST, A DISTANCE OF 29.82 FEET TO A POINT ON NORTHERLY PROJECTION OF THE WEST RIGHT-OF-WAY LINE OF LYONS ROAD;

THENCE SOUTH 00°36'48" EAST ALONG SAID NORTHERLY PROJECTION AND THE WEST RIGHT-OF-WAY LINE FOR LYONS ROAD, A DISTANCE OF 1,441.83 FEET TO A POINT ON THE EAST LINE OF PARCEL A, OF SAID LYONS COMMONS;

THENCE SOUTH 04°41'30" WEST, A DISTANCE OF 70.30 FEET;

THENCE SOUTH 00°36'48" EAST, A DISTANCE OF 265.00 FEET;

THENCE NORTH 89°23'12" EAST, A DISTANCE OF 6.50 FEET;

THENCE SOUTH 00°36'48" EAST, A DISTANCE OF 78.92 FEET;

THENCE SOUTH 03°06'20" WEST, A DISTANCE OF 100.21 FEET;

THENCE SOUTH 00°36'48" EAST, A DISTANCE OF 84.91 FEET;

THENCE SOUTH 89°37'26" WEST, A DISTANCE OF 5.50 FEET;

THENCE SOUTH 00°24'34" EAST, A DISTANCE OF 180.09 FEET;

THENCE NORTH 89°35'26" EAST, A DISTANCE OF 12.00 FEET;

THENCE SOUTH 01°09'10" WEST, A DISTANCE OF 110.05 FEET;

THENCE SOUTH 00°24'34" EAST, A DISTANCE OF 40.00 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL "A" - THE PREVIOUS ELEVEN COURSES ARE COINCIDENT WITH THE EAST LINE OF SAID PARCEL "A" AND THE WEST RIGHT-OF-WAY LINE FOR LYONS ROAD;

THENCE SOUTH 89°37'59" WEST ALONG THE SOUTH LINE OF SAID PARCEL "A", A DISTANCE OF 314.00 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL "A";

THENCE NORTH 00°24'34" WEST ALONG THE WEST LINE OF SAID PARCEL "A" AND THE EAST LINE OF PARCEL D-2 BUFFER, LYONS CREEK PLAT ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 169, PAGE 41 OF THE PUBLIC RECORDS OF BROWARD COUNTY, A DISTANCE OF 330.11 FEET TO NORTHEAST CORNER OF SAID PARCEL D-2 BUFFER;

THENCE SOUTH 89°38'26" WEST ALONG THE NORTH LINE OF SAID PARCEL D-2 BUFFER, AND PARCELS C-2 BUFFER, AND B-2 BUFFER, SAID LYONS CREEK PLAT AND THE SOUTH LINE OF SAID TRACT 58, A DISTANCE OF 1,320.00 FEET TO THE NORTHWEST CORNER OF SAID LYONS CREEK PLAT;

THENCE SOUTH 00°24'34" EAST ALONG THE WEST LINE OF SAID LYONS CREEK PLAT, A DISTANCE OF 0.30 FEET TO THE NORTHEAST CORNER OF BERBER PLAT TWO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 182, PAGE 53 OF THE PUBLIC RECORDS OF BROWARD COUNTY;

(CONTINUED ON SD-3)

\\CTAFIELD\SURVEY\_PROJECTS\PROJECTS\2008\08-0049-005-01 MAIN STREET AT COCONUT CREEK\DRAWINGS\SKETCH\_AND\_DESC\CDD BNDY BASE\_TO\_CTA\_2024-08-19.DWG



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JOB NO.: 08-0049-005	SHEET 2 of 22 SHEETS
DRAWN BY: JDP	F.B. N/A PG. N/A
CHECKED BY: RY	DATED: 02/10/2025

## LEGAL DESCRIPTION: CDD LAND CONVEYANCE PARCEL

**LEGAL DESCRIPTION:** (CONTINUED FROM SD-2)

THENCE SOUTH 89°38'26" WEST ALONG THE NORTH LINE OF SAID TRACT 59 AND THE NORTH LINE OF TRACT A OF SAID BERBER PLAT TWO, A DISTANCE OF 660.00 FEET TO THE NORTHWEST CORNER OF SAID TRACT A, SAID POINT ALSO BEING THE NORTHEAST CORNER OF SAID TRACT 73 AND THE SOUTHEAST CORNER OF SAID TRACT 60;

THENCE SOUTH 00°24'34" EAST ALONG THE WEST LINE OF SAID TRACT A AND THE EAST LINE OF SAID TRACT 73, A DISTANCE OF 660.00 FEET TO THE SOUTHEAST CORNER OF SAID TRACT 73, SAID POINT BEING ON THE NORTH LINE OF A 50-FOOT ROAD RESERVATION DEDICATED BY SAID PALM BEACH FARMS CO. PLAT NO. 3;

THENCE SOUTH 89°38'26" WEST ALONG THE SOUTH LINE OF SAID TRACT 73 AND THE NORTH LINE OF SAID 50-FOOT ROAD RESERVATION AND THEIR WESTERLY PROLONGATION, A DISTANCE OF 345.07 FEET;

THENCE NORTH 00°25'06" WEST ALONG A LINE 15 FEET WEST OF WHEN MEASURED AT RIGHT ANGLES TO THE WEST LINE OF SAID TRACTS 60 AND 73 AND SAID EAST RIGHT OF WAY LINE FOR BANKS ROAD, A DISTANCE OF 1,334.85 FEET TO A POINT ON THE CENTERLINE OF N.W. 40TH STREET;

THENCE SOUTH 89°37'57" WEST ALONG SAID CENTERLINE, A DISTANCE OF 345.11 FEET;

THENCE NORTH 00°24'28" WEST ON THE SOUTHERLY PROLONGATION OF THE WEST LINE OF SAID TRACT 48 AND THE EAST LINE OF TRACT "F" OF SAID COMMERCE CENTER OF COCONUT CREEK, AND ALONG SAID WEST AND EAST LINES, A DISTANCE OF 675.03 FEET TO THE NORTHWEST CORNER OF SAID TRACT 48 AND THE NORTHEAST CORNER OF SAID TRACT "F";

THENCE SOUTH 89°37'50" WEST ALONG THE SOUTH LINE OF SAID TRACTS 41 AND 42 AND THE NORTH LINE OF SAID TRACTS "F" AND "G", A DISTANCE OF 989.51 FEET TO THE SOUTHWEST CORNER OF SAID TRACT 42 AND THE SOUTHEAST CORNER OF PARCEL "A", SAWGRASS RANCH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 158, PAGE 24 OF THE PUBLIC RECORDS OF BROWARD COUNTY;

THENCE NORTH 00°21'18" WEST ALONG THE WEST LINE OF SAID TRACT 42 AND THE EAST LINE OF SAID PARCEL "A" AND THEIR NORTHERLY PROLONGATION, A DISTANCE OF 741.99 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE FOR CULLUM ROAD;

THENCE NORTH 89°37'43" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 329.54 FEET A POINT ON THE NORTH RIGHT-OF-WAY LINE FOR CULLUM ROAD, SAID POINT ALSO BEING THE SOUTHEAST CORNER TRACT "A", WHITWORTH NO. 1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 164, PAGE 1 OF SAID PUBLIC RECORDS, SAID POINT HEREINAFTER KNOWN AS REFERENCE POINT "A";

THENCE NORTH 00°24'52" WEST ALONG THE EAST LINE OF SAID TRACT "A", A DISTANCE OF 621.83 FEET TO A POINT OF CURVATURE OF A 120.36-FOOT RADIUS TANGENT CURVE, CONCAVE TO THE SOUTHEAST;

THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10°24'52", FOR AN ARC DISTANCE OF 21.88 FEET TO A POINT OF TANGENCY;

THENCE NORTH 10°00'00" EAST, A DISTANCE OF 25.76 FEET TO A POINT OF CURVATURE OF A 27.00-FOOT RADIUS TANGENT CURVE, CONCAVE TO THE SOUTHWEST;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 72°35'10", FOR AN ARC DISTANCE OF 34.21 FEET TO A POINT OF REVERSE CURVATURE OF A 68.00-FOOT RADIUS TANGENT CURVE, CONCAVE TO THE NORTHEAST;

THENCE NORTHWESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 62°11'26", FOR AN ARC DISTANCE OF 73.81 FEET TO A POINT OF TANGENCY;

THENCE NORTH 00°23'45" WEST, A DISTANCE OF 99.08 FEET TO A POINT OF CURVATURE OF A 68.00-FOOT RADIUS TANGENT CURVE, CONCAVE TO THE SOUTHEAST;

THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 54°49'48", FOR AN ARC DISTANCE OF 65.07 FEET TO A POINT OF REVERSE CURVATURE OF A 17.00-FOOT RADIUS TANGENT CURVE, CONCAVE TO THE WEST;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 80°30'49", FOR AN ARC DISTANCE OF 23.89 FEET TO A POINT OF REVERSE CURVATURE OF A 120.00-FOOT RADIUS TANGENT CURVE, CONCAVE TO THE NORTHEAST;

THENCE NORTHWESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 25°40'38", FOR AN ARC DISTANCE OF 53.78 FEET TO A POINT OF TANGENCY;

THENCE NORTH 00°24'08" WEST, A DISTANCE OF 106.51 FEET;

THENCE NORTH 04°06'47" WEST, A DISTANCE OF 97.23 FEET TO A POINT OF CURVATURE OF A 29.45-FOOT RADIUS TANGENT CURVE, CONCAVE TO THE SOUTHWEST;

THENCE NORTHERLY AND NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 83°31'10", FOR AN ARC DISTANCE OF 42.93 FEET TO A POINT OF CUSP OF ON THE ARC OF A 3467.00-FOOT RADIUS NON-TANGENT CURVE, CONCAVE TO THE NORTH, WHOSE RADIUS POINT BEARS NORTH 00°26'30" EAST;

THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00°48'55", FOR AN ARC DISTANCE OF 49.34 FEET TO A POINT OF TANGENCY;

THENCE NORTH 89°37'35" EAST, A DISTANCE OF 55.85 FEET

THENCE NORTH 00°25'05" WEST, A DISTANCE OF 12.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE FOR WILES ROAD AND THE NORTH LINE OF PARCEL "B" OF SAID R.M. GREEN CORPORATION PLAT;

THENCE NORTH 89°37'35" EAST ALONG SAID NORTH LINE AND SOUTH RIGHT-OF-WAY LINE AND THEIR EASTERLY PROJECTION, A DISTANCE OF 520.00 FEET;

THENCE SOUTH 81°17'00" EAST ALONG SAID NORTH PARCEL LINE AND SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 75.95 FEET;

THENCE NORTH 89°37'35" EAST ALONG SAID NORTH PARCEL LINE AND SOUTH RIGHT-OF-WAY LINE AND THEIR EASTERLY PROJECTION, A DISTANCE OF 360.01 FEET TO THE EAST LINE OF SAID R.M. GREEN CORPORATION PLAT;

THENCE NORTH 00°25'05" WEST ALONG SAID EAST PLAT LINE, A DISTANCE OF 12.00 FEET TO POINT OF BEGINNING #1.

(CONTINUED ON SD-4)

\\CTAFILE02\SURVEY\_PROJECTS\PROJECTS\2008\08-0049-005-01 MAIN STREET AT COCONUT CREEK\DRAWINGS\SKETCH\_AND\_DESC\CDD BNDY BASE TO CTA\_2024-08-19.DWG



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JOB NO.: 08-0049-005	SHEET 3 of 23 SHEETS
DRAWN BY: JDP	F.B. N/A PG. N/A
CHECKED BY: RC	DATED: 02/10/2025

**LEGAL DESCRIPTION:  
CDD LAND CONVEYANCE PARCEL**

**LEGAL DESCRIPTION:** (CONTINUED FROM SD-3)

**LESS AND EXCEPT THE FOLLOWING:**

A PORTION OF PARCEL A OF SAID R. M. GREEN CORPORATION PLAT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF PARCEL "B" OF SAID PLAT;  
 THENCE NORTH 00°24'52" WEST ALONG THE WEST LINE OF SAID PARCEL "B", A DISTANCE OF 13.77 FEET TO A POINT OF CURVATURE OF A 120.36-FOOT RADIUS TANGENT CURVE, CONCAVE TO THE EAST;  
 THENCE NORTHERLY AND NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 07°22'06", FOR AN ARC DISTANCE OF 15.48 FEET TO A POINT OF NON-TANGENCY;  
 THENCE NORTH 60°24'25" EAST, A DISTANCE OF 73.34 FEET TO **POINT OF BEGINNING #2**;  
 THENCE NORTH 00°24'36" WEST, A DISTANCE OF 217.00 FEET;  
 THENCE NORTH 89°37'53" EAST, A DISTANCE OF 600.00 FEET;  
 THENCE SOUTH 00°24'36" EAST, A DISTANCE OF 217.00 FEET;  
 THENCE SOUTH 89°37'53" WEST, A DISTANCE OF 600.00 FEET TO **POINT OF BEGINNING #2**.

**LESS AND EXCEPT THE FOLLOWING:**

A PORTION OF SAID TRACT 24, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE AFOREMENTIONED REFERENCE POINT "A";

THENCE NORTH 89°37'43" EAST, A DISTANCE OF 33.91 FEET;  
 THENCE NORTH 00°24'02" WEST, A DISTANCE OF 332.98 FEET;  
 THENCE NORTH 89°37'38" EAST, A DISTANCE OF 617.98 FEET TO **POINT OF BEGINNING #3**;  
 THENCE CONTINUE NORTH 89°37'38" EAST, A DISTANCE OF 313.08 FEET TO A POINT ON A LINE 25 FEET WEST OF WHEN MEASURED AT RIGHT ANGLES TO THE EAST LINE OF SAID TRACT 24;  
 THENCE SOUTH 00°25'05" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 310.12 FEET;  
 THENCE SOUTH 44°36'22" WEST, A DISTANCE OF 35.27 FEET TO A POINT ON A LINE 50 FEET NORTH OF WHEN MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID TRACT 24;  
 THENCE SOUTH 89°37'33" WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 263.16 FEET;  
 THENCE NORTH 45°19'50" WEST, A DISTANCE OF 35.37 FEET;  
 THENCE NORTH 00°25'05" WEST, A DISTANCE OF 310.05 FEET TO **POINT OF BEGINNING #3**.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, AND CONTAINING 8,154,484 SQUARE FEET (187.2 ACRES), MORE OR LESS.

(CONTINUED ON SD-4)

\\CTAFI02\SURVEY\_PROJECTS\PROJECTS\2008\08-0049-005-01 MAIN STREET AT COCONUT CREEK\DRAWINGS\SKETCH\_AND\_DESC\CDD BNDY BASE TO CTA\_2024-08-19.DWG



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JOB NO.: 08-0049-005	SHEET 4 of 22 SHEETS
DRAWN BY: JDP	F.B. N/A PG. N/A
CHECKED BY: RC	DATED: 02/10/2025