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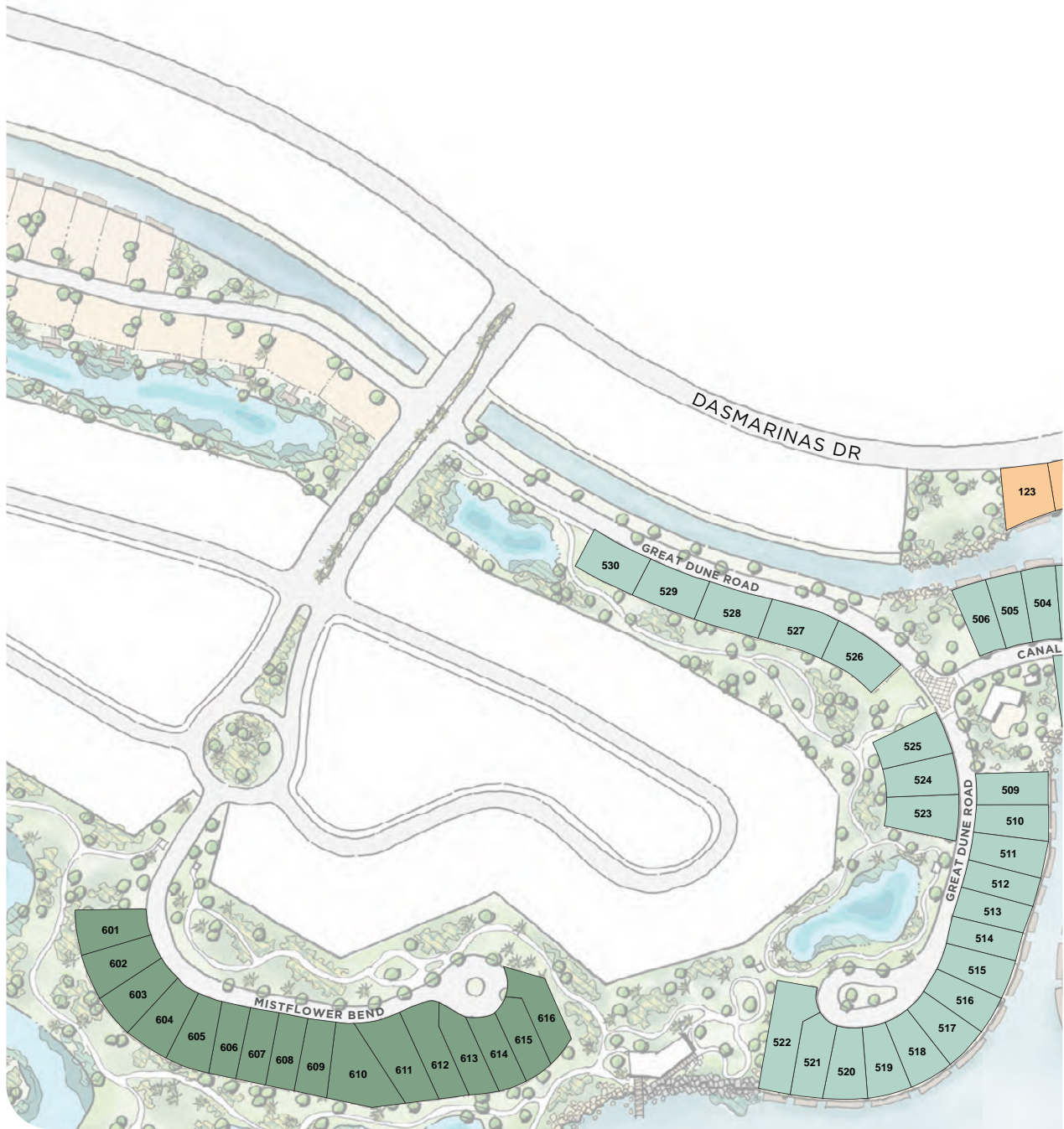


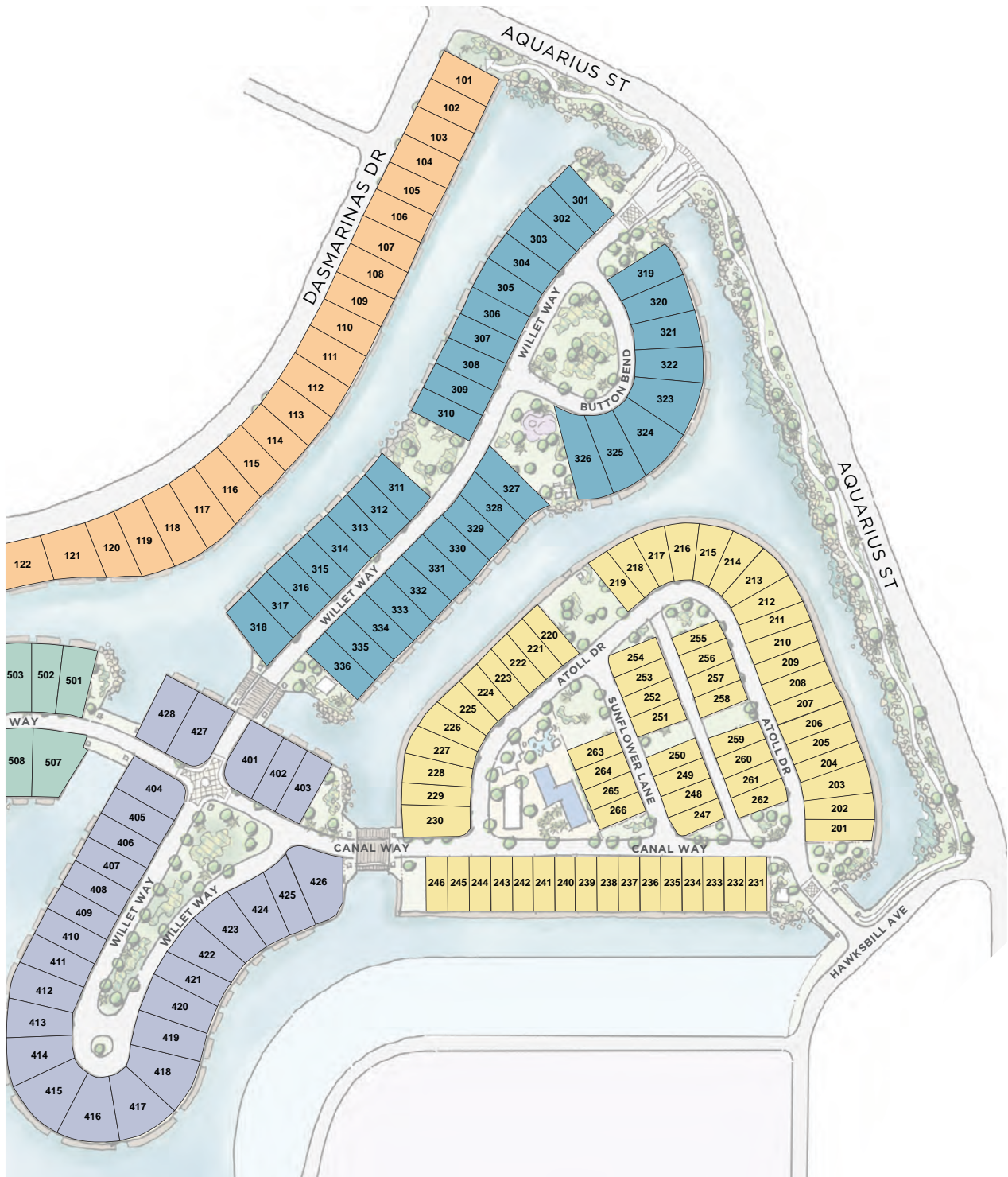
COMMUNITY MASTER PLAN





PHASE 1 MASTER PLAN







01 DESIGN OBJECTIVES AND PHILOSOPHY



WHITECAP
NORTH PADRE ISLAND

CREATE

The community is designed to encourage families and visitors to create memories.

Immerse yourself in the Whitecap community. Adventure and experience all that the Texas coast has to offer. Exploring the outdoors and interacting with nature by walking and bicycling the many winding Whitecap trails and boardwalk, and boating and paddling down the maze of enchanting Whitecap canals is strongly encouraged.

PROTECT

The community will protect the natural treasures of North Padre Island.

Preservation of the complex, sensitive Texas coastal dune natural landscape, as well as the rich culture and history of the Texas Gulf Coast, are the cornerstone of this community.

CELEBRATE

The community will celebrate natural landforms for residents, visitors, and wildlife.

The Whitecap community celebrates its unique position in the Texas dune coast and broader community through regenerative infrastructure, native planting, natural landscape restoration, and resilient building and landscape construction that incorporates, enhances, and preserves the surrounding coastal environment.



DESIGN OBJECTIVES AND PHILOSOPHY

INSPIRE

The community seeks to be a living, working inspiration for the City of Corpus Christi.

Through innovative, sustainable planning and design, efficient multimodal connectivity, and the promotion of human and nature interaction, we can set the precedent for community-centric, resilient design, construction, and connectivity for communities on and around the barrier islands, and beyond.

BEAUTIFY

The community shall present a cohesive and uniform appearance to protect the values of every home and public space in the natural landscape.

With an emphasis on continuity and dignity in keeping with the coastal context, the flexibility of character through sustainable building and landscape design shall shine through and enhance the Whitecap community.



DESIGN OBJECTIVES AND PHILOSOPHY

1.1 CHARTER

The homes and home sites within the Whitecap community are subject to the Community Charter for Whitecap Residential Properties (Charter), which provides for standards of architecture, maintenance, use, and conduct in order to preserve and enhance the overall community. The Charter establishes the Whitecap Residential Association, Inc., a Texas non-profit corporation (Residential Association), whose members include all property Owners in Whitecap as the entity primarily responsible for administering the Charter and the standards of maintenance, architecture, conduct, and the use established pursuant to the Charter. In the event of a conflict between these Design Guidelines and the Charter, the Charter shall control. Defined terms used but not otherwise defined herein shall have the meanings given to them in the Charter.

Article 5 of the Charter establishes procedures for application and review of plans for new construction, and for modifications to existing homes within Whitecap. Diamond Beach Holdings, LLC, a Texas limited liability company serving as the founder of Whitecap (Founder) has established these Design Guidelines to provide guidance to Owners and their contractors in planning improvements and modifications to lots, structures, and landscaping in Whitecap. The term “Design Guidelines” shall also mean any and all “Supplemental Design Guidelines,” that set forth specific architectural standards and guidelines as well as specific planning standards, including but not limited to, minimum setbacks, building heights, home size restrictions, and number of stories allowed, to be recorded against and applicable to the different areas to be developed within Whitecap. The Design Guidelines are intended to facilitate the review process, but are not the sole basis for decisions on architectural matters. Compliance with these Design Guidelines does not guarantee approval.

1.2 APPLICABILITY

These guidelines apply to all homes within Phase 1 of the Whitecap community.

1.3 AUTHENTICITY OF DESIGN

To achieve buildings that possess architectural integrity, the Architectural Reviewer (Reviewer) evaluates submissions based upon the following qualitative criteria as well as other specific requirements:

- Site Context and Integration
- Scale
- Proportion
- Color
- Shade/Shadow
- Appropriateness
- Material Authenticity

1.4 ARCHITECTURAL DESIGN AND CONSTRUCTION

Only approved architects, residential designers, landscape architects, landscape contractors, engineers, and builders are allowed to provide professional services within Whitecap. Approval shall be based on criteria to be determined by the Reviewer and shall be granted at the sole discretion of the Reviewer.

Such approved professionals, including but not limited to builders and their subcontractors, shall be subject to rules and regulations regarding construction at Whitecap. If these rules are not followed, the approved professional and its subcontractors will be subject to fines and/or deductions from any applicable construction deposits and/or having approval to work at Whitecap revoked at the discretion of the Reviewer.

By approving a professional, the Reviewer does not in any way assume a duty to ensure or guarantee the quality of the professional's past or future work. Any Owner enters into a contract with an approved professional at their own risk and should do so after due independent investigation of the professional and not based on reliance on the approval by the Reviewer regarding the merits of the professional.

1.4.1 ARCHITECTS

The quality and style of the homes in Whitecap start with an outstanding architect. The architect should create a home reflecting the goals of the Owner while maintaining the standards of both the Whitecap community and the design guidelines set forth in this document.

A licensed architect, approved in writing by the Reviewer, shall prepare all building plans.

A landscape architect licensed in the State of Texas shall design all exterior improvements.

1.4.2 BUILDERS

Whitecap will emphasize the quality and legacy that its homes provide. The builder should construct the home using the highest quality methods and materials to reflect the standards of the Whitecap community. The Owner may select a builder from the list of Whitecap preferred builders, or a builder of their choosing that has been vetted by and received written permission from the Reviewer.

1.5 DESIGN REVIEW PROCESS

Requests for approval of proposed construction, landscaping, or exterior modifications must conform to a multi-stage review process as described in Section 05. Architectural Design Review of these Design Guidelines set forth below.

The objective of the review process is to promote aesthetic harmony within Whitecap by providing for compatibility of specific designs with its neighbors, the environment, and the topography. The review process strives to maintain objectivity and sensitivity to the individual aspects of design. The review process may not consider the same things appropriate for one lot as it does for another.

Implementation of these design guidelines shall:

- Ensure a uniform and high-quality appearance for the community.
- Enhance the community's overall value.
- Direct the form and character of the homes.
- Remain adaptable to address changing circumstances such as shifts in lifestyle, consumer preferences, economic situations, community interests, and market trends.
- Promote the use of green building techniques.
- Create homes appropriate to the natural setting of Whitecap, in harmony with the history and culture of the Texas Gulf Coast.
- Utilize high-quality materials, and design buildings that convey a sense of timelessness and permanence.



1.6 DEFINITIONS

Building Envelope

The portion of the lot, which excludes the setbacks and easements, that will be used to construct buildings and outdoor private spaces.

Building Height

The vertical distance from the grade of the lot to the highest point of the coping of a flat roof or the mean height level between eaves and ridges for gable and hip roofs.

Building Setback

The areas, measured from the property line to any structure, within which building is prohibited. Driveways and other similar surface improvements are allowed to be built within setbacks.

Bulkhead

Panelized wall system that supports the canal edge to prevent scouring and erosion due to seawater fluctuation.

Common Area

Shared space or amenity, such as park and open space, trails, the boardwalk, and community structures, that are available to residents and their visitors.

Floor Area

The total square footage of air conditioned space within the perimeter of a residential structure.

Mooring Line

The maximum extent in which all dock infrastructure, including boat lifts, boats, piers, docks, decking, may be constructed. The mooring line is lot specific and is offset from the face of the Bulkhead.

Retaining Wall

A structure that holds or retains soil and/or water behind it.

Reviewer

As defined in the Charter. The Founder, or the Architectural Reviewer composed of third-party industry professionals, that will review and enforce Whitecap design and construction standards.

Xeriscape

A style of landscape design that requires little or no irrigation.

02 ARCHITECTURAL AND AESTHETIC STANDARDS



WHITECAP
NORTH PADRE ISLAND



ARCHITECTURAL AND AESTHETIC STANDARDS

2.1 SITE CONSTRAINTS

Canal and waterfront community situated within the windy and dry Texas coastal dune environment. North Padre Island receives an average annual rainfall of around twenty-six inches (26”).

2.2 LOT DIAGRAMS

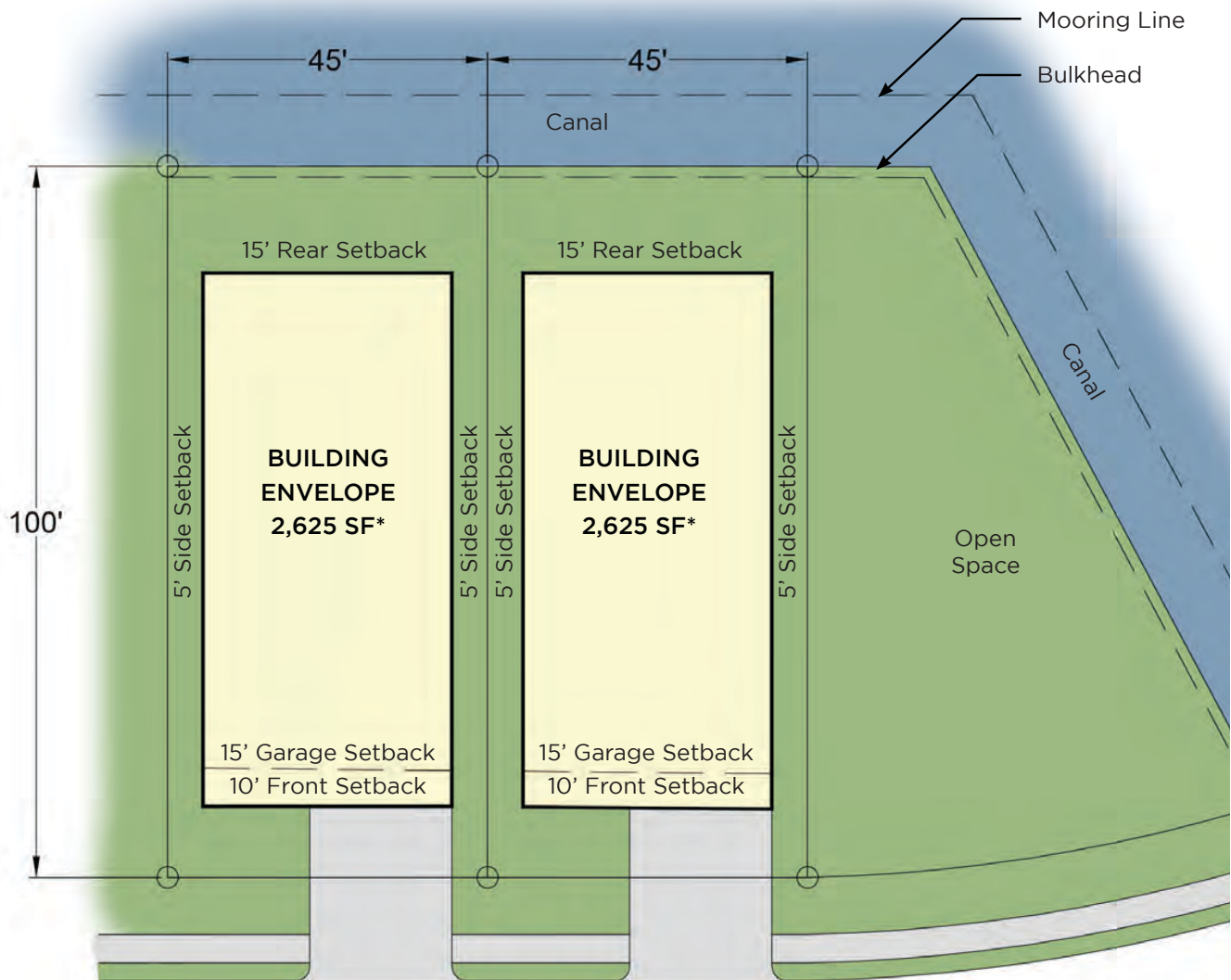


FIGURE 2.1 – CANAL LOT

**In the event of any disagreement regarding the setbacks or building envelope of a lot, the decision of the Reviewer will be final.*

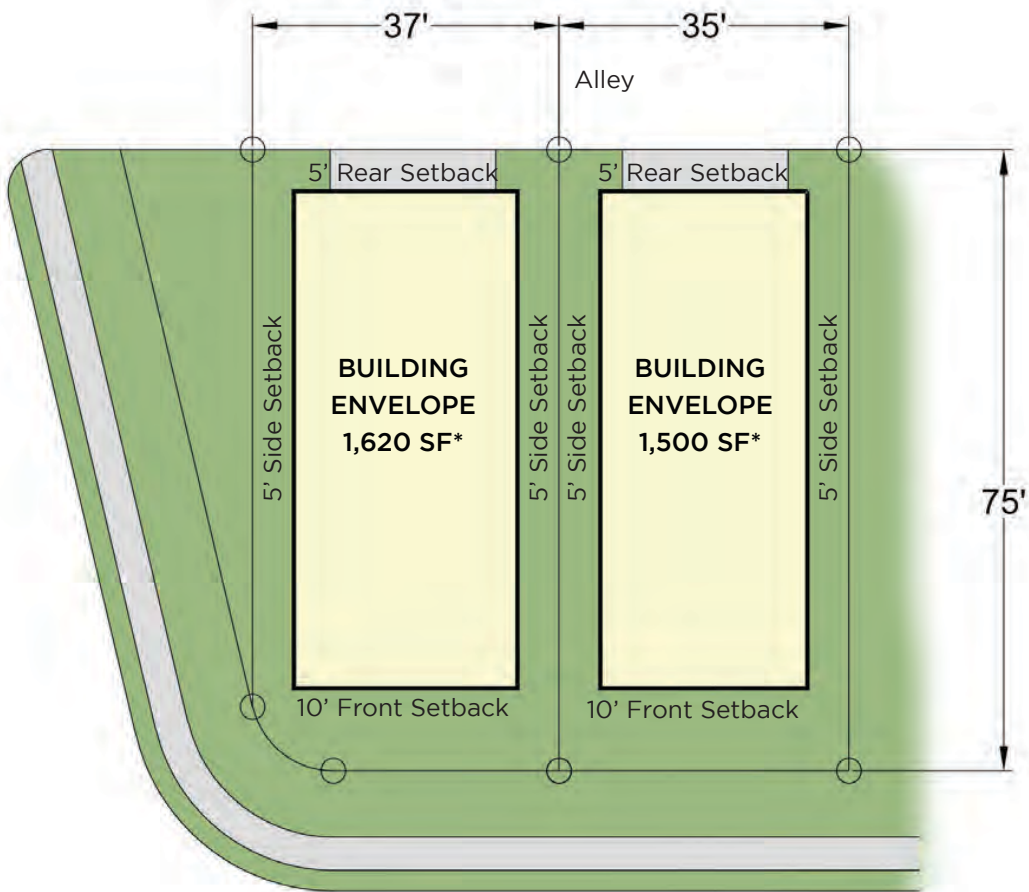


FIGURE 2.2 – ALLEY LOT

**In the event of any disagreement regarding the setbacks or building envelope of a lot, the decision of the Reviewer will be final.*

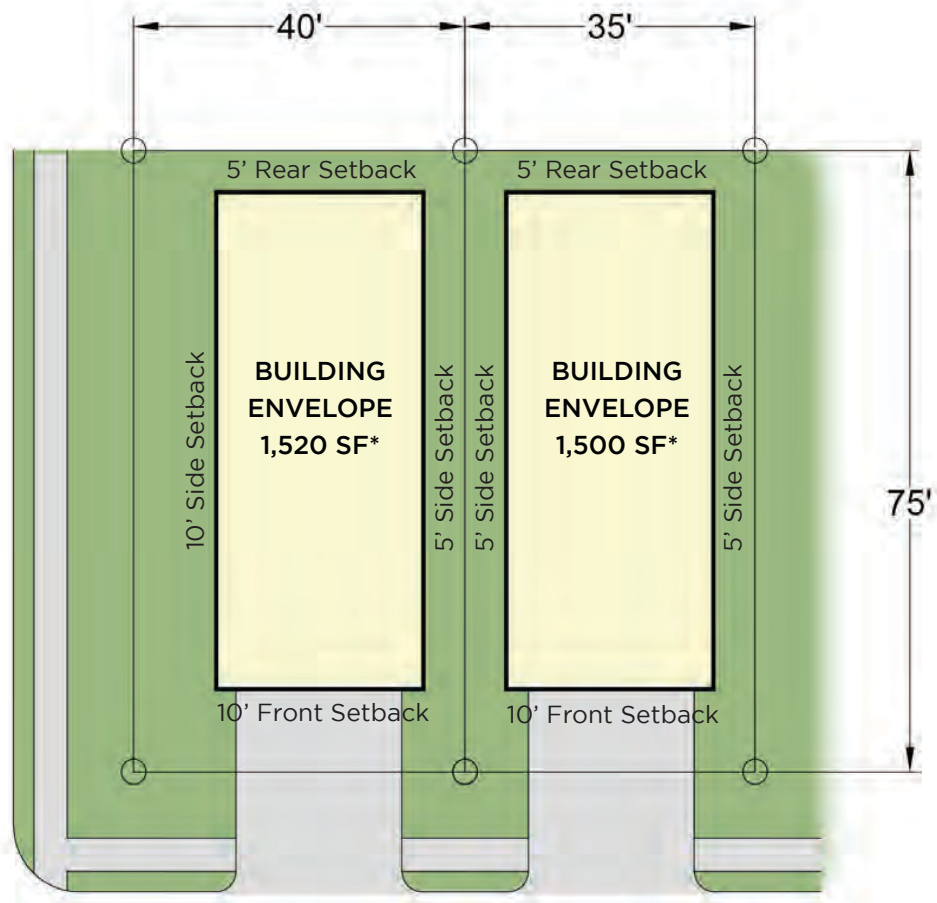


FIGURE 2.3 – INTERIOR LOT

**In the event of any disagreement regarding the setbacks or building envelope of a lot, the decision of the Reviewer will be final.*

2.3 MINIMUM HOME SIZE

Objectives

- Enable homes that are compatible with the vision of Whitecap.

Guidelines

- Minimum Floor Area for interior conditioned space and attached outdoor rooms is one thousand four hundred (1,400) square feet for all new homes on a single lot. The Reviewer will be reviewing applications to ensure that all improvements are appropriately scaled to the lot and surrounding landscape.

2.4 COMBINING LOTS

Objectives

- Enable the purchase of multiple lots, and the design of a home which meets the vision for the Whitecap community.

Guidelines

- Where an Owner owns two or more contiguous lots and wants to combine two or more contiguous lots into a single lot, the Owner must receive written consent in advance by the Reviewer.
- Combined lots will be treated as a single lot for design review by the Reviewer, except for landscape standards which shall be multiplied by the number of lots being combined. All standards in these Design Guidelines will not be modified as a result of combining lots.
- Following approval by the Reviewer, any regulatory approvals will be the responsibility of the Owner.
- Owners and their design teams are encouraged to be sensitive to home mass and scale when preparing their applications.



2.5 ARCHITECTURAL STYLES AND AESTHETIC APPEAL

Objectives

- Implement coastal, contemporary, and modern architectural styles.

Guidelines

- Home styles may be prohibited in the sole and absolute discretion of the Reviewer.
- The Reviewer may disapprove the construction or design of a home on purely aesthetic grounds. Any prior decisions of the Reviewer regarding matters of design or aesthetics shall not be deemed to have set a precedent, if the Reviewer feels that the repetition of such actions would have any adverse effect on the community.
- Although similar home types are allowed, repetitiveness at the street and block level shall be minimized.



2.6 MATERIAL SELECTION AND AUTHENTICITY

Objectives

- Utilize materials that are compatible with the general color and texture of the surrounding coastal landscape.
- Discourage importing materials outside of the region.
- Ensure that high quality materials are used with integrity and within their structural capacity.

Guidelines

- Exterior building material of a residence shall be constructed of fiber-cement siding (e.g. Hardie Plank), wood (thermally modified), stone, rust-resistant metal such as aluminum or stainless steel paneling, brick, and/or stucco. Vinyl siding is prohibited.
- Changes of materials shall be at interior corners of building masses. Material changes should be kept to a minimum on the facade of the home and must wrap around corners by at least five feet (5').
- Materials and construction techniques are to be high quality, durable, and proven in similar coastal applications.
- Smooth, shiny, and/or glossy finishes are discouraged, and materials should have an appearance closer to their natural state rather than manufactured.

2.7 EXTERIOR COLOR PALETTE

Objectives

- The color of external materials should be subdued to complement and blend with the natural landscape.
- Locally found, muted Texas Gulf Coast tones are encouraged.

Guidelines

- Stains may be used to protect wood from weathering, to give it a more refined texture, or to achieve a darker hue. Paint on exterior wood paneling is prohibited. A shiny appearance is not permitted.
- Building elements shall have the following general color ranges aside from whites:
 - Roofs: Medium to dark browns and grays.
 - Walls: Fine, cool, and warm neutral tones are required. Wall surfaces shall utilize texture and/or multi-layered application of color where possible to achieve subtle color variation on walls.
 - Metal Details, Coping Caps, Windows, and Doors: Dark accent colors



CMYK:
38, 36, 37, 1
Hex:
A49995

CMYK:
24, 25, 26, 0
Hex:
C4B6B1

CMYK:
29, 26, 33, 0
Hex:
B8B0A5

CMYK:
23, 21, 31, 0
Hex:
C7BEAD

CMYK:
28, 21, 26, 0
Hex:
BABBB5

CMYK:
22, 17, 19, 0
Hex:
C6C7C5

CMYK:
0, 2, 6, 5
Hex:
F4F0E7

CMYK:
2, 1, 2, 0
Hex:
F7F7F5

2.8 HEIGHTS AND VIEWS

Objectives

- Encourage the design of homes that celebrate rooftop and multi-story living, as well as the use of large, open patios.
- Maximize sunlight, view, and breeze opportunities.

Guidelines

- No building or residential structure may exceed forty-eight feet (48') in height (exclusive of chimneys and ventilators).
- No building or residential structure shall exceed three stories, including rooftop decks, without express written consent of the Reviewer.
- The Reviewer has the authority to withhold its approval of a structure's height if it determines that the proposed height is not compatible with adjacent structures or is not responsive to existing or anticipated structure heights on lots located above or below the lot on which the proposed residence will be constructed.
- Views are neither guaranteed, preserved, nor protected within the Whitecap community.



2.9 BUILDING MASSING

Objectives

- Encourage the play of light and shadow between building masses, articulate building masses, accentuate entries and/or building levels, and create texture. Monolithic facades without articulation are discouraged.
- Implement consistent, 'four-sided' architecture on all sides of the building, with particular emphasis on the street and canal frontages.

Guidelines

- In general, buildings shall be asymmetrical, two- to three-story masses that respond to the site's orientation.
- Concentrate building height towards the front of the lot.
- Employ changes in volume to reduce the perceived scale of the structure. Massing shall separate building functions into different parts, and reflect room size volumes or groups of rooms rather than one single mass.
- Buildings shall be designed to be viewed from all sides.
- Homes should be designed to allow access to natural light through manipulation of mass and window placement.
- All building elements shall be compatible with the architectural style, materials, colors, and details of the building as a whole.
- Entrances may be defined and integrated into the design of the overall building facade using alcoves, vestibules, porticoes, canopies, projections, or pilasters.

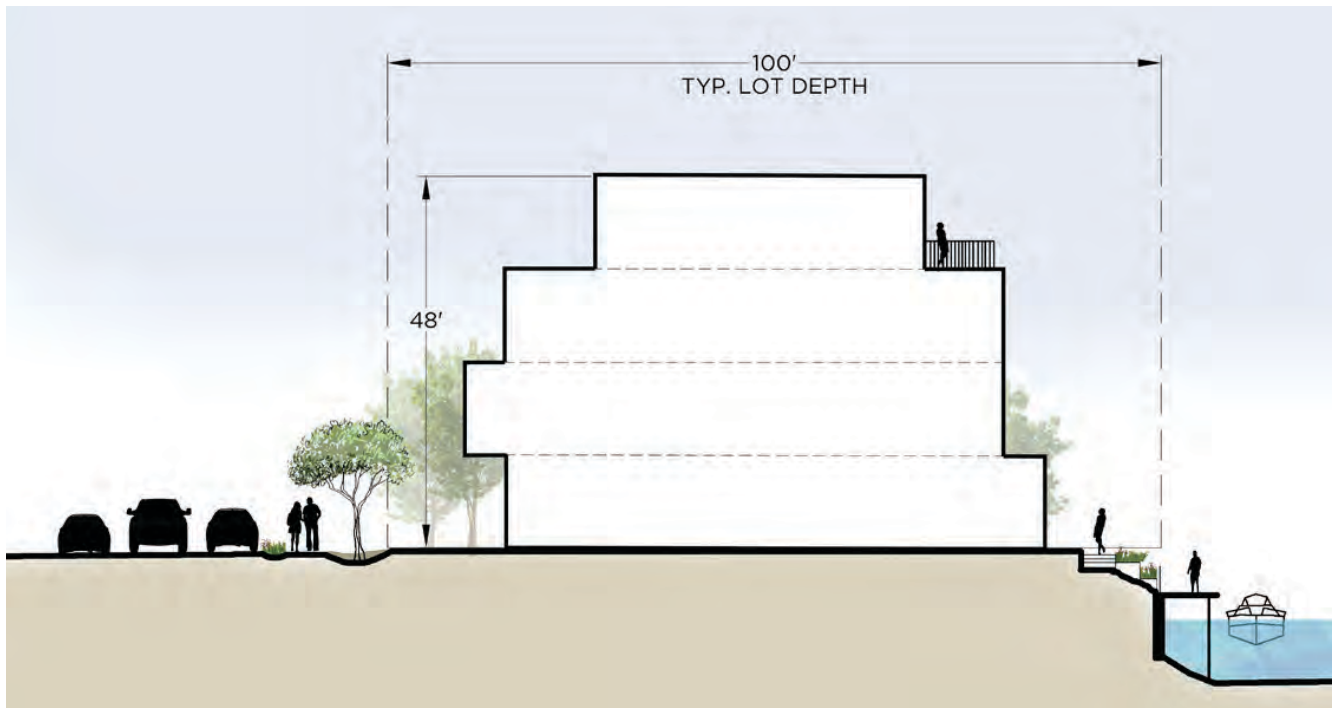


FIGURE 2.4 – BUILDING HEIGHT EXAMPLE



2.10 ROOFS

Objectives

- Promote compatible roof planes and consistent roof slopes, color, and overall appearance.
- Recognize that roof material and color is one of the most prominent visual features in any home, therefore roofs need to be treated with care and thoughtful design.
- Roof designs shall incorporate offsets and/or multi-level designs to avoid the appearance of wide, unbroken roof planes as viewed from above or off site.

Guidelines

- *Roof Pitches:* Modern, flat roof lines incorporating clean lines with a horizontal emphasis and minimalist design are encouraged. Low pitched roof forms with a pitch between 4:12 to 6:12 including gable, hip, and shed roofs may be used.
- *Roof Forms:* Excessively pitched roofs, mansard, gambrel or chalet roofs, or roofs that are too steep or too shallow for the style of the home are not allowed.
- *Acceptable Roof Materials:* Roof materials shall be non-reflective and consist of rust-resistant metal or concrete tiles (Bermuda slate concrete). Metal roof materials shall be standing seam, flat seam, nail hem panels, snap-lock panels, mechanically seamed panels, or combinations of such panels with no exposed fasteners. TPO (thermoplastic polyolefin) may be utilized as a roof material as long as the roofs are not visible from the street and are used in conjunction with parapets. All roof materials must be non-combustible.
- *Roof Vents:* Roof vents and other penetrations shall be as unobtrusive as possible and must match the principal color of the roof unless approved in advance by the Reviewer.
- *Unacceptable Roof Materials:* Reflective roof finishes, any metal material that may cause excessive glare or is not rust-resistant, flat concrete tiles, asphalt or wood shingles, and any glazed flat or barrel tiles are not acceptable.

2.11 WINDOWS AND DOORS

Objectives

- Encourage uniformity and compatibility throughout residential and built facades.
- Protect migratory birds and minimize bird collisions through thoughtful design and clear visual cues that indicate a barrier is present.

Guidelines

- All windows and doors shall be deeply recessed to create pattern, texture, and lend a sense of thickness to the walls.
- All windows and glass used shall be hurricane rated.
- First floor windows shall not be opaque, tinted, or mirrored glass.
- All other street facing facades shall have transparent windows covering at least 20% of the facade area for the structure.
- All windows and glass used must appear like a barrier to birds. Dense patterns of markings (small dots, squares, lines, etc) may be applied to the outside of the window or glass, as well as frosted, decorative, or perforated window film, ribbons or string hung outside of the window or glass, and/or other exterior applications approved through written consent of the Reviewer.

2.12 DRIVEWAYS, PARKING, AND GARAGES

Objectives

- Ensure that Whitecap is maintained as a pedestrian-centered community that prioritizes multimodal travel.
- Minimize the visibility of garages, garage doors, carports, driveways, and parked vehicles from the street, Common Areas, and adjacent lots.
- Minimize visibility of paved areas from the street and neighboring lots through careful building location, design, and use of architectural elements.

Guidelines

- All lots shall be designed for one driveway access point.
- Minimum width of a driveway is twelve feet (12') and the maximum width of a driveway is twenty-two feet (22'). Thoughtful and creative driveway design is encouraged.
- Driveways must be at least five feet (5') from any side or rear property line.
- Drives shall intersect the street at as close to ninety degrees (90°) as possible.
- Internal vehicular turnarounds shall be accommodated within the lot where feasible.
- Unless otherwise approved in advance by the Reviewer, the maximum driveway grade within a lot is five percent (5%).
- Driveways must permit entry by standard mid-size vehicles without "bottoming out" between the edge of pavement and the property line, as well as the driveway area between the property line and the garage.
- If the driveway is raised significantly above finished grade (which will be determined by the Reviewer in its sole and absolute discretion), the exposed sides of the driveway must be screened with planting approved in advance by the Reviewer.
- Where feasible, appropriate cross drainage shall be incorporated into the design of the driveway to minimize scouring and erosion.
- All vehicles for short-term rentals shall be kept within the driveway or garage of a lot. Additional vehicles must utilize remote parking.
- The improvements on each lot must contain a private, enclosed garage capable at all times of housing a minimum of one (1) automobile.
- The floor area used for parking automobiles or other vehicles shall be sloped toward the street to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
- Garages must be a minimum of two hundred forty (240) square feet in size.
- Garage doors shall be of a modern design, consisting of hurricane rated glass inserts, simulated wood grain, rust-resistant metal such as aluminum or stainless steel, or similar materials that are approved by the Reviewer. Garage doors must reflect the architecture of the home.
- *Canal and Interior Lots:* Garages must be sited and located so that visibility from the street is minimized. Side entry and/or angled entry garages are encouraged. Separating a three-car garage into two (2) masses is encouraged. Garage doors shall be recessed a minimum of twelve inches (12").
- *Alley Lots:* Lots are not permitted to have vehicular access or driveways along street frontage.
- Although detached garages are optional, they are discouraged. If implemented, detached garages shall be architecturally similar to the primary structure and incorporate pergolas or trellises to connect to the main residence to avoid large bulky forms.
- Carports are discouraged and are subject to additional design requirements by the Reviewer.



2.13 ACCENT MATERIALS, ROOF TERRACES, BALCONIES, AND RAILINGS

Objectives

- Utilize durable materials that are compatible in material, color, and style to the home.
- Design consistency, uniformity, and simplicity.
- Discourage ornate and highly decorative design aesthetics.

Guidelines

- Accent materials must be durable, rust-resistant, and designed for the highly corrosive coastal environment.
- These materials should be consistent in their use, color, form, and appearance. Mixing and matching must be avoided.
- Roof terraces are encouraged and should be designed to maximize views and capture breezes.
- Balustrade railing, chicken wire fencing, and aluminum or steel decks are prohibited.

2.14 CANOPIES AND AWNINGS

Objectives

- Provide shade and weather protection for exterior building walls, windows, and entrances.
- Provide visual definition of building entrances.

Guidelines

- Canopies or awnings shall be simple rectangular structures, either cantilevered or hung, consisting of colors allowed within the exterior color palette described in these Guidelines. Shed roofing should be avoided.
- Canopies and awnings shall not project more than twelve feet (12') from the exterior building wall it is mounted on, and not more than five feet (5') from the window's wall.
- Canopy and awning material must be compatible and consistent with the materials and colors utilized for roofing and/or window frames.
- Anodized aluminum, steel, titanium, copper, or other ferrous rust-resistant metals may be used. Limited use of wood soffit materials are permitted.

2.15 CHIMNEYS

Objectives

- Ensure chimneys and vents are compatible with the overall design of the home.
- Celebrate the design of the chimney as a design element

Guidelines

- Fireplaces and chimneys can be dominant elements of an architectural composition. They must be proportional and consistently detailed with the overall home design.
- Fireplaces must be equipped with an approved spark arrestor that is concealed.
- All chimneys must extend to the ground.
- The maximum width shall be eight feet (8').

2.16 GUTTERS AND DOWNSPOUTS

Objectives

- Gutters and downspouts should be designed to blend in with the overall home design, and should not be decorative in nature or an afterthought.

Guidelines

- Gutters and downspouts shall be compatible in material and color to all other accent materials of the home.
- Preference should be placed for gutters to be located on the side elevations of the home and integrated into the overall grading and drainage design for the home.





2.17 EXTERIOR LIGHTING

Objectives

- Remain a Dark Skies compliant community.
- Preserve the nighttime sky and minimize disturbance to wildlife by minimizing the amount of exterior lighting and general light pollution.
- Utilize low intensity, indirect light sources to the extent required for safety and comfort.
- Utilize light fixtures which complement the architecture and enhance the landscape.

Guidelines

- Exterior lighting must remain under 4000K to deter bugs and decrease the likeliness of migratory birds becoming disoriented. Candlelight levels must remain under five feet (5') at the property line. Sodium or Metal Halide lighting is prohibited.
- Light fixtures shall be located and designed to avoid spillover onto adjacent lots.
- All light fixtures shall be both fully shielded (light source is hidden from view) and full cut off (light shines downward).
- Lights are encouraged to be set on timers or security sensors.
- With the exception of low-level driveway, porch, patio, path, and dock lights, all lighting must occur within the building area.
- Owners are encouraged to install underwater pool, spa, and water feature lights with dimmers so that they may be easily dimmed if it is determined that spillover light from these sources is a nuisance to neighboring lots or Common Areas, or is adversely affecting the nighttime sky with light pollution.
- Lighting of plant material shall be achieved with hidden light sources.
- Exterior lighting shall be kept to a minimum, but consistent with good security practices.

2.18 MISCELLANEOUS PROHIBITED ELEMENTS

The following architectural elements are prohibited within the Whitecap community unless expressly approved in advance and in writing by the Reviewer.

Roofs

- Roofs that are too steep or incompatible with a modern home design.

Design Elements

- Stove pipe chimneys and metal chimney caps.
- Random roof penetrations, vents or skylights facing the street.
- White or bubble skylights.
- Mirrored glass.
- Exterior glass that is not hurricane rated.

Materials and Colors

- Stone which appears glued on.
- Vivid, inappropriate colors.



03 SITE AND LANDSCAPE DESIGN STANDARDS



WHITECAP
NORTH PADRE ISLAND



SITE AND LANDSCAPE DESIGN STANDARDS

3.1 PLANTING

Objectives

- Ensure that the developed areas of Whitecap harmonize and blend with the surrounding natural and native environment.
- Establish a gradual transition from the more intensive landscape around the residence to the natural Texas coastal dune landscape with the use of native and adapted plant material.
- Blend buildings with the site, frame views, and complement structures while providing shade, texture, and focal points for outdoor rooms.
- Encourage native plants to be used in all areas around the buildings.

Guidelines

- All plant material must adhere to both Addenda 7.11 Front Yard Approved Plant List and Addenda 7.12 Prohibited Plant List established in these Guidelines.
- The Reviewer reserves the right to deny use of any plant found to be incompatible with the Texas coastal dune environment.
- All planting must be installed prior to occupancy of the residence. The Reviewer will approve, at its sole discretion, other time limits requested by the Owner to extend the planting installation.
- The Reviewer will, upon completion of the installation of landscaping, conduct an on-site inspection of the property to ensure compliance with the approved plan.
- Each lot shall be required to plant a minimum of two (2) shade trees in the front yard, and two (2) palm trees in the rear yard. Homeowners are encouraged to exceed the minimum where feasible. Each tree is to be a minimum of three (3) caliper inches in size and shall be native and selected from the approved plant palette.
- The use of trees is preferred in areas close to the residence to help blend buildings with the site, accentuate entry areas, provide for climate amelioration and help to define outdoor spaces.
- All areas disturbed during construction must be re-vegetated.
- All planting beds, including gravel, rock, and mulch areas must have a vegetative cover of at least seventy percent (70%). The predominant use of bare hardwood mulch or bare rock as ground cover is strictly prohibited.
- The use of Xeriscape is strongly recommended.
- Large turf areas are prohibited in front yards and shall be confined to areas enclosed within walls and/or building masses, hardscape surfaces such as patios or contained by metal, stone, or colored concrete borders in conjunction with evergreen shrubs. The use of high water use turf grasses such as St. Augustine is expressly prohibited.
- High quality synthetic turf that mimics natural grass aesthetics and is free draining is allowed. Approved material manufacturers must be submitted to the Reviewer for approval.
- Gravel patios are not permitted in the front yard.
- Should raised planters be used, planters must relate to the architecture of the home and/or be extensions of retaining and screening walls.
- All trees, shrubs, and groundcovers must be maintained properly. All dead or dying plants must be removed or replaced promptly.



3.2 HARDSCAPE AND PAVING

Objectives

- Hardscape elements in the landscape must be in scale with the home and associated structures.
- Encourage the use of durable, locally sourced materials.

Guidelines

- Poured-in-place aggregate concrete is allowed in driveway applications, otherwise, smaller paver unit sizes are strongly encouraged due to grade change and slope conditions on driveways.
- Pervious pavers are recommended for driveways as well as front yard and side yard walkways. Darker, modeled colors are recommended for the driveway to hide dirt and regular tire and vehicular wear and tear on the surface.
- Large natural stone paver units are recommended for outdoor living spaces, terraces, patios, and pool decks. Lighter colored natural stone with low heat index values and a non-slip finish are strongly encouraged, particularly for pool deck applications.
- Pool coping, pavers, and steps should be one (1) uniform aesthetic to create a uniform look and feel to the outdoor space.

3.3 DECKING

Objectives

- Create a uniform color and pattern for all wood decks within the community.

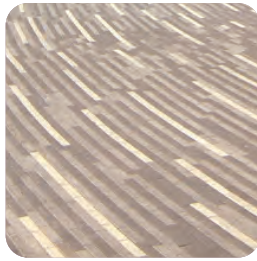
Guidelines

- Pressure treated lumber is suitable for deck and dock framing only and is not allowed for any walking surface or decking.
- Walking surfaces of thermally modified woods are preferred. Sustainably sourced tropical hardwoods, synthetic or composite materials (HDPE, concrete, etc) are allowed, but must follow the color palette guidelines.
- All decking patterns beyond rear retaining walls shall run parallel to the Bulkhead and lot frontage.
- Painting of docks is prohibited.
- See Section 4.4. Dock Design and Materials for additional regulations.
- All deck finishes shall be in a color range of dark brown to brown.

Suggested Hardscape Materials



Driveway
Exposed aggregate
concrete



Terrace/Patio/Driveway
Pavers



Driveway/Path
Concrete Pavers



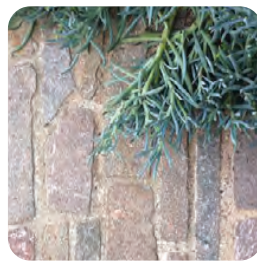
Driveway/Path
Concrete paver



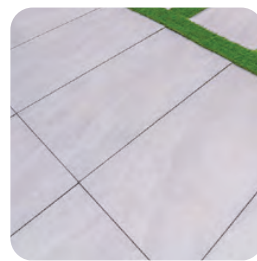
Pool Deck
Stone pavers and steps



Pool Deck
Large format
rectangular paver



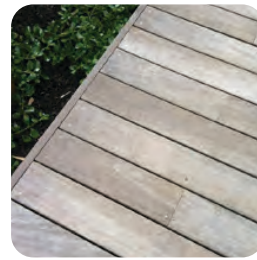
Pool Deck/Driveway
Staggered running bond
stone bricks (reds/tans
blend)



Pool Deck/Patio
Stone pavers and steps
(light gray)



Pool Deck
Cool gray toned stone
pavers as coping and
hardscape



Dock/Deck
Wooden boardwalk



Dock/Deck
Wood/plastic
composite decking

Not Permitted



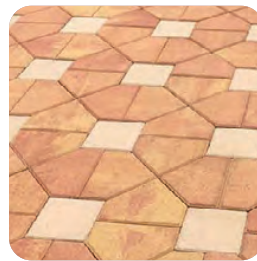
Stone pavers with blue
tones



Completely red brick
pavers



Stamped concrete
and color



Concrete pavers shape
and color

3.4 ROCKSCAPE

Objectives

- Mimic and mirror the tones and colors found naturally throughout North Padre Island, the Texas Gulf Coast, and the desert landscape rockscape to preserve and enhance the surrounding natural landscape, and add a layer of interest to the homes and their outdoor spaces.
- Address the arid, coastal landscape with appropriate materials ranging from fine aggregate, crush shell, river rock, to boulders.
- Provide texture and contrast to the native Texas plants utilized in the cultivated landscape across the Whitecap community.

Guidelines

- Decorative stones, small pebbles, and rocks shall be used as surface material to highlight planting and drainage areas as well as paths.
- Boulders and large rocks shall be used as seating elements in the landscape, focal features, and can offer small spaces for water to gather for pollinators and birds.
- If natural boulders are used in areas facing any streets, Common Areas, or adjacent properties, the boulders must be incorporated into flower beds and must be buried at least six inches (6") into the ground.





3.5 GRADING AND DRAINAGE

Objectives

- Responsibility for proper site drainage rests with the Owner. No alteration of established drainage patterns may occur without the advance approval of the Reviewer.

Guidelines

- Cuts and fills shall be designed to complement the natural topography of the site.
- No clay fill will be permitted.
- Grading, unless otherwise approved by the Reviewer, shall not disturb existing trees and vegetation.
- All lot drainage must comply with the approved Whitecap community drainage plans.
- Effects on existing drainage structures shall be minimized.
- The flow of water shall be directed to existing drainage structures in such a manner as to minimize run-off onto adjacent properties. No water may drain onto a neighboring lot.
- Paved areas shall be designed so that surface water is collected in a manner that does not create puddles or ponds.
- Daylighting of all drainage should be coordinated with rear lot retaining wall design and incorporated into the overall wall design. Exposed pipes daylighting on top of retaining walls are prohibited.
- Gutters and downspouts should be connected to a site drainage system.

3.6 IRRIGATION

Objectives

- Optimize and minimize water use through efficient irrigation system design.
- Encourage the predominant use of drip and micro irrigation.

Guidelines

- Automatic, underground irrigation systems are required and must be maintained to ensure survivability of plant material.
- All irrigation systems must utilize an automatic, programmable controller and a rain and/or weather gauge to maximize efficiency. Sprinkler heads should be pressure regulated check valves. The use of drip tubing is highly recommended. Drip tubing shall not be visible from any streets, Common Areas, or adjacent properties.
- Temporary above ground irrigation may be installed only until plants are established and/or for a maximum of one (1) year. No above ground irrigation shall be visible from any streets, Common Areas, or adjacent properties. After one (1) year, all above ground irrigation systems shall be removed and the ground-plane shall be restored to its natural character. The irrigation system must be designed and installed to preclude over spray or offsite runoff.

3.7 FENCING, WALLS, AND SCREENING

Objectives

- Provide visual articulation between private and Common Areas.
- Enclose specific outdoor spaces and/or distinguish between the private and the public realm (consisting of streets, canals, and pedestrian paths), rather than re-tracing property lines.
- Hide or screen undesirable views and undesirable elements, such as cars, trash, HVAC units, and utility infrastructure, from adjacent properties and Common Areas. Vegetation, walls, and/or fencing may be used to hide or screen undesirable views and elements.

Guidelines

- Continuous fences or walls that enclose the entire front yard are prohibited.
- Walls and/or fences shall not exceed six feet (6') in height and must be constructed of masonry or steel. Wood fencing is prohibited.
- View corridors and viewsheds to the canal and/or coast should remain open and unobstructed. All walls within the rear setback and along canal frontages shall not exceed four feet (4') in height. Separate regulations for retaining walls apply.
- Walls adjacent to any street, and extending beyond the front facade of the home may not exceed four feet (4') in height.
- Utility, drainage, and water quality easements may not be fenced. Walls and fences may not encroach upon any utility or drainage easement.
- Outdoor spaces, such as patios and motor courts, when not surrounded by short walls, should be defined with the use of evergreen shrubs.
- A three-foot (3') minimum planting separation strip must be provided between the back of the curb or sidewalk and any street-facing retaining wall.
- Driveways, equipment storage, exposed foundations, and play equipment adjacent to the buildings, in addition to walls, when required, must be entirely shielded from adjacent properties, streets, and Common Areas with the use of evergreen shrubs.
- *HVAC Placement and Screening:* If HVAC equipment is placed on the roof, it must be placed away from the parapets to minimize visibility from the ground floor. If HVAC equipment is placed in the side or rear yards, it must be screened from public view using fixed non-corrosive metal, or vegetative screens.
- *Trash Container Screening:* All trash shall be kept in containers that are mounted on a raised surface to allow drainage below receptacles. Fixed wood, non-corrosive metal, or vegetative screens shall be installed to screen views of trash containers from public view. Trash containers shall be kept in screened enclosures except for trash pick-up days. Screen enclosures must be a minimum of five feet (5') in height.



3.8 POOLS AND WATER FEATURES

Objectives

- The location of in-ground pools are of concern to the Reviewer. On canal lots, the location of the bulkhead tie backs must be considered when placing a pool in the rear yard area. It is likely that a portion of the yard will have to be elevated so that the pool does not extend to the tiebacks. Retaining walls may be required.
- Incorporate pool and water feature designs that enhance outdoor spaces and extend the architectural style of the main buildings.
- Locate pools and water features out of public view.
- Ensure pools and water features are designed to be integral parts of the outdoor rooms and visually blend with the landscape.

Guidelines

- *Canal Front Properties:* In the interest of structural integrity, employ best practices in construction and materials, and ensure no additional stress or load is placed on the bulkhead and tiebacks. In-ground pools on canal front properties shall include engineered plans.
- Swimming pools shall be in-ground, or a balanced cut and fill, and shall be designed to be compatible with the site and dwelling.
- Swimming pools and spa areas shall be enclosed by a fence or wall, as well as an auto-lock gate.
- Pool and spa mechanical equipment must not be visible from adjacent lots and shall be enclosed by walls or other suitably effective visual and audible screening methods. Solid noise absorbing covers may be required after installation if the equipment is disturbing adjacent properties.
- The exposed edges of infinity or “negative” edge pools must utilize an approved natural stone or shall be dark and/or match the color of the residence. Exposed pool walls or surfaces that are visible from off site must be screened with shrubs.



3.10 ADDRESS MARKERS

Objectives

- Provide visual consistency throughout Whitecap.
- Ensure easy viewing and legibility of addresses.

Guidelines

- Address markers shall be mounted on a building or a screening wall and be visible from the street at all times.
- Numbers shall be non-reflective, have muted coloration, and the height must not exceed eight inches (8”).
- All address markers shall be illuminated with dark sky compliant lighting. Backlit lighting is permitted. Internally illuminated letters are not allowed.

Numbers must utilize only one (1) of the following fonts.

Preferred

Gotham 1234 Whitecap Blvd

Alternative

Gibson 1234 Whitecap Blvd



3.11 MISCELLANEOUS SITE ELEMENTS

3.11.1 PLAYSCAPES AND SPORT COURTS

Objectives

- Minimize noise and views of sport courts from adjacent properties.
- Minimize unsecured objects being blown around the site due to daily coastal high winds.

Guidelines

- Playscapes and sport courts must be approved in advance by the Reviewer.
- If allowed, these facilities must be properly sited and screened so as to minimize the visibility and noise impact of the facility on adjacent properties.
- Playscapes and sport courts may not contain exterior lighting.
- Playscapes and sport court equipment, such as swing sets, goals, and stands, shall be permanent structures that are built and/or bolted into the ground, floors, walls, and/or overhead structures. Playscapes and sport court equipment that is only portable must only be outside when in use and may not be left outside unattended.
- Tennis courts and sport courts shall be heavily screened and must be built within close proximity to the building.

3.11.2 PATIO AND OUTDOOR FURNITURE

Objectives

- Prevent furniture from flying around and posing a safety hazard.

Guidelines

- Freestanding patio and outdoor furniture that can be moved by the wind are not permitted. Examples include but are not limited to plastic Adirondack chairs, folding chairs, camping chairs, and folding tables.
- Patio furniture and umbrella colors are to utilize conservative and neutral colors when their location is visible from any street, adjacent property, or Common Area.

3.11.3 RAINWATER HARVESTING CISTERNS

The use of rainwater harvesting is strongly encouraged. Cisterns shall be designed to minimize view from adjacent lots, and be built into the natural grade of the lot where feasible.



04 BULKHEAD, RETAINING WALLS, AND BOAT DOCK DESIGN STANDARDS

